

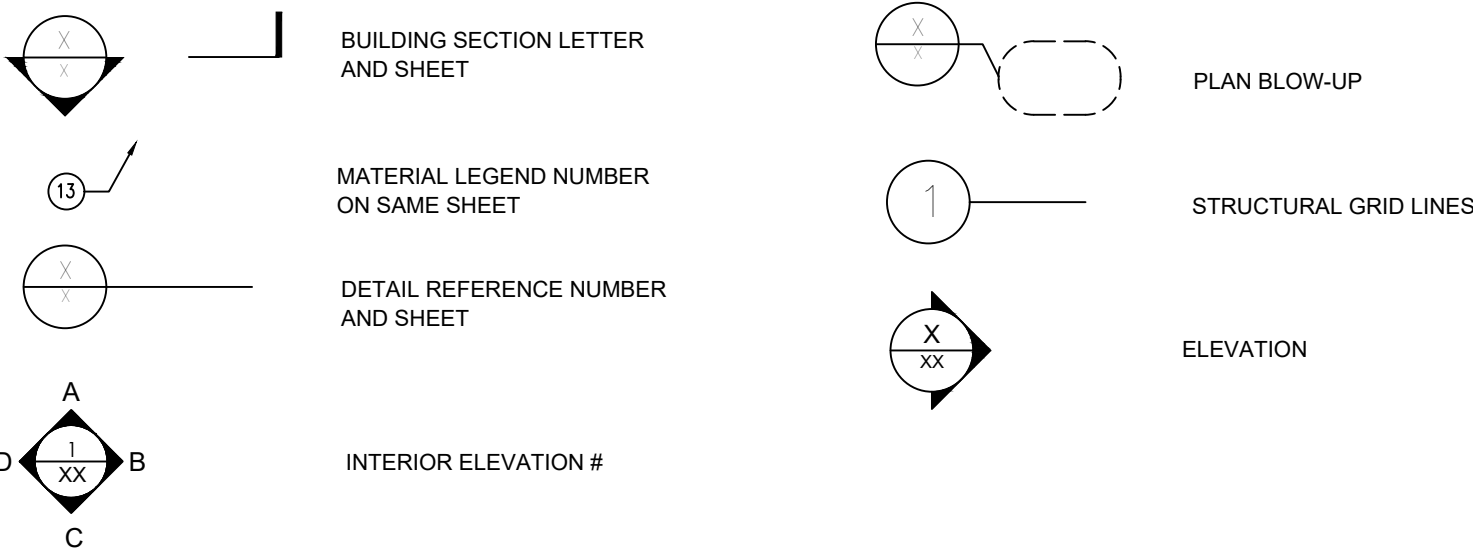
CARRILLO RESIDENCE

DRB_07082021_Exhibit 1 - Plans

ARCHITECTURAL ABBREVIATIONS

@	AT ANGLE	EA	EACH	MAX	MAXIMUM	SHT	SHEET
CL	CENTERLINE	EJ	EXPANSION JOINT	MB	MACHINE BOLT	SHTG	SHEATHING
Ø	DIAMETER	ELEC	ELECTRICAL	MC	MEDICINE CABINET	SHWR	SHOWER
		ENCL	ENCLOSURE	MECH	MECHANICAL	SIM	SIMILAR
		EQ	EQUAL	MED	MEDIUM	SKL	SKYLIGHT
AB	ANCHOR BOLT	EW	EACH WAY	MFG	MANUFACTURER	SL	SLIDER (WINDOW)
A/C	AIR CONDITIONING	(E)	EXISTING	MIN	MINIMUM	SLDG	SLIDING
AC	ASPHALT CONCRETE	EXT	EXTERIOR	MISC	MISCELLANEOUS	SQ	SQUARE
ADJ	ADJACENT			MTL	METAL	STL	STEEL
AFF	ABOVE FINISH FLOOR	FAU	FORCED AIR UNIT			STOR	STORAGE
ALUM	ALUMINUM	FF	FINISH FLOOR	N	NORTH	STRUCT	STRUCTURAL
		FG	FIXED GLASS	NAT	NATURAL		
BD	BOARD	FHMS	FLATHEAD MACHINE SCREW	NIC	NOT IN CONTRACT	T	TREAD
BLDG	BUILDING	FIN	FINISH	NO	NUMBER	T&B	TOP & BOTTOM
BLK	BLOCK	FJ	FLOOR JOIST	NTS	NOT TO SCALE	T&G	TONGUE AND GROOVE
BLKG	BLOCKING	FO	FACE OF	O/	OVER	TC	TRASH COMPACTOR
BM	BEAM	FLR	FLOOR	OBS	OBSOURE	TO	TOP OF
BO	BOTTOM OF	FLUOR	FLUORESCENT	OC	ON CENTER	TOB	TOP OF BEAM
BOF	BOTTOM OF FRAMING	FND	FOUNDATION	OD	ON CENTER	TOM	TOP OF MASONRY
BO	BOTTOM OF	FTG	FOOTING	OD	OUTSIDE DIAMETER	TOP	TOP OF PARAFET
BOBM	BOTTOM OF BEAM	FHWS	FLATHEAD WOOD SCREW	OH	OVERHEAD	TOPL	TOP OF PLATE
		FURR	FURRED	OPG	OPENING	TOS	TOP OF SHEETING
				OS	OVERFLOW SCUPPER	THK	THICK
CAB	CABINET	GA	GALUGE	PERF	PERFORATE	TMPR	TEMPERED GLASS
CB	CATCH BASIN	GD	GARBAGE DISPOSAL	PL	PROPERTY LINE	TV	TELEVISION
CJ	CONTROL JOINT	GLB	GLU LAM BEAM	PLYWD	PLYWOOD	TYP	TYPICAL
CLG	CEILING	GS	GALVANIZED STEEL	PR	PAIR		
CLR	CLEAR	GYP	GYPSPUM	PVC	POLYVINYL CHLORIDE	UNO	UNLESS NOTED OTHERWISE
CMU	CONCRETE MASONRY UNIT	GB	GYPSPUM BOARD	PREFAB	PREFABRICATED	VIF	VERIFY IN FIELD
CO	CLEANOUT	HDR	HOSE BIBB	R	RADIUS/RISER	W/	WITH
COL	COLUMN		HEADER	RD	ROOF DRAIN	WO	WITHOUT
COMP	COMPOSITE SHINGLES			RDWD	REDWOOD	WC	WATER CLOSET
CONC	CONCRETE	HGT	HEIGHT	REFR	REFRIGERATOR	WD	WOOD
CONST	CONSTRUCTION	HTR	HEATER	REINF	REINFORCEMENT	WH	WATER HEATER
CONT	CONTINUOUS	HVAC	HEATING/VENTILATING/	REQD	REQUIRED	WI	WROUGHT IRON
CSK	COUNTER SINK		AIR CONDITIONING				
CSMT	CASEMENT	HW	HOT WATER				
CT	CERAMIC TILE						
CTSK	COUNTERSINK	IN	INCH	RM	ROOM		
CTR	CENTER	INT	INTERIOR	RO	ROUGH OPENING		
CW	COLD WATER	INSUL	INSULATION	RS	ROUGH SAWN	WIN	WINDOW
				RWD	REDWOOD	WP	WATERPROOF
DS	DOWNSPOUT					WR	WATER RESISTANT
DBL	DOUBLE	JST	JOIST	SF	SQUARE FEET	WWF	WELDED WIRE FABRIC
DIA	DIAMETER			SHLF	SHELF	WWM	WELDED WIRE MESH
DIA	DIAGONAL	LAM	LAMINATE	SHLV	SHELVING		
DIM	DIMENSION	LAV	LAVATORY	SS	STAINLESS STEEL		
DN	DOWN			S&P	SHELF AND POLE		
DR	DOOR	MATL	MATERIAL	SEL	SELECT		
DW	DISHWASHER			SH	SINGLE HUNG		

ARCHITECTURAL SYMBOLS



GENERAL NOTES

- A. ALL WORK SHALL CONFORM TO: (A) THE MINIMUM STANDARDS OF THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE AND ALL RELATED DOCUMENTS PUBLISHED BY THE I.C.C. WHICH HAVE BEEN ADOPTED BY THE LOCAL GOVERNING AGENCY; (B) ALL REGULATIONS AND ORDINANCES OF ALL LOCAL GOVERNING AGENCIES; (C) ANY SPECIAL CONDITIONS REQUIRED BY THE LOCAL GOVERNING AGENCIES; AND (D) ALL CALIFORNIA STATE CODE AMENDMENTS (BUILDING STANDARDS CODE) TITLE 24.
- THE APPLICABLE CODES WILL INCLUDE, BUT SHALL NOT BE LIMITED TO:
- 2016 CALIFORNIA RESIDENTIAL CODE (CRC)
 - 2016 CALIFORNIA BUILDING CODE (CBC)
 - 2016 CALIFORNIA ELECTRICAL CODE (CEC)
 - 2016 CALIFORNIA MECHANICAL CODE (CMC)
 - 2016 CALIFORNIA PLUMBING CODE (CPC)
 - 2016 CALIFORNIA ENERGY CODE (CENC)
 - CITY OF GLENDALE CODE
- B. ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED BY THE CONTRACTOR FOR DIMENSION, GRADE, EXTENT AND COMPATIBILITY TO THE EXISTING SITE. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR CHOOSES TO DO SO, HE SHALL BE PROCEEDING AT HIS OWN RISK.
- C. OMISSIONS FROM THE DRAWINGS AND SPECIFICATION OR THE MISDESCRIPTION OF THE WORK WHICH IS MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH IS CUSTOMARILY PERFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR MISDESCRIBED DETAILS OF THE WORK AS IF FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.
- D. DIMENSIONS SHOWN SHALL TAKE PRECEDENCE OVER DRAWINGS SCALE OR PROPORTION. LARGER SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
- E. APPROVED NUMBERS OR ADDRESSES (PER CITY OF LOS ANGELES) SHALL BE PROVIDED IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. CONTRACTOR SHALL COORDINATE THE LOCATION WITH THE ARCHITECT.
- F. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR THE SELECTION OF ALL PLUMBING FIXTURES INCLUDING TOILETS, TUB/SHOWER, LAVATORIES, SINKS AND ALL APPROPRIATE FAUCETS, TRIM AND DRAINS. THE OWNER SHALL SELECT ALL COLORS, FINISH AND OPTIONS.
- G. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF THE MECHANICAL HEATING AND DISTRIBUTION SYSTEM IN COMPLIANCE WITH APPLICABLE CODES AND REGULATIONS.
- H. THE CONTRACTOR SHALL COORDINATE WITH OWNER FOR THE SELECTION OF ALL ELECTRICAL LIGHT FIXTURES (THEIR COLOR, TYPE AND FINISH), AND SWITCHPLATED AND OUTLETS (COLOR AND TYPE). THE CONTRACTOR SHALL VERIFY ALL LOCATIONS AND HEIGHTS OF ALL OUTLETS, LIGHTING FIXTURES, ETC. WITH THE ARCHITECT.
- I. THE CONTRACTOR SHALL COORDINATE WITH OWNER FOR THE SELECTION OF ALL KITCHEN APPLIANCES (COLOR, TYPE AND OPTIONS).
- J. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR THE SELECTION AND PROPER LOCATIONS OF ALL BATHROOM SPECIALTIES INCLUDING, BUT NOT LIMITED TO, MEDICINE CABINETS, MIRRORS, TOWEL BARS AND HOOKS, TOILET PAPER DISPENSER, SOAP DISH AND SHOWER ENCLOSURE.
- K. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR THE DESIGN OF BUILT-IN CABINETS INCLUDING DOOR AND DRAWER LOCATIONS, TYPES OF HINGES, PULLS AND SLIDING HARDWARE. THE OWNER SHALL SELECT THE TYPE OF MATERIALS, COLOR AND FINISH FOR CABINETS.
- L. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR THE SELECTION OF ALL INTERIOR FINISHES INCLUDING FLOOR COVERINGS AND UNDERLAYMENTS, PAINT (INCLUDING NUMBER OF COATS), OTHER WALLCOVERINGS, BASE AND CASE, LAMINATES, TILE, ETC.

PROJECT DATA

OWNER:	EDUARDO J. CARRILLO
PROJECT ADDRESS:	1248 CORONA DRIVE
NUMBER OF STORY:	TWO
LOT SIZE (AREA):	8,889 sq.ft.
LEGAL DESCRIPTION:	A.P.N. 5679-016-001 5679-016-002 5679-016-024
	TRACT: 6759
	LOTS: 148 147 170
ZONE:	R1R (RESTRICTED RESIDENTIAL FAR III)
OCCUPANCY GROUP:	R-3 & U-1
TYPE OF CONSTRUCTION:	V-B
MAX. HEIGHT ALLOWED:	32 FEET
PROPOSED BLDG. HEIGHT:	32 FEET
EXISTING NATURAL SLOPE	
GREATER THAN 40%.....	YES
AVERAGE NATURAL SLOPE:	60%
TOTAL ALLOWED F.A.R.	30% = (2,666 sq.ft.)
TOTAL PROPOSED F.A.R.	25% = (2,221 sq.ft.)
PROPOSED PAVING AREA:	12% = (1,063 sq.ft.)
PROPOSED LANDSCAPE AREA:	60% = (5,574 sq.ft.)
PROPOSED SETBACKS:	FRONT= 16'-0" SIDE= 12'-6" REAR= 10'-0"

FLOOR AREA ANALYSIS

GARAGE:	545 sq.ft.
STAIRCASE AREA:	150 sq.ft.
LAUNDRY ROOM:	32 sq.ft.
FIRST FLOOR:	1,414 sq.ft.
SECOND FLOOR:	580 sq.ft.
TOTAL GROSS AREA:	2,721 sq.ft.
NOTE: UP TO 500 sq.ft. OF GARAGE NOT PART OF GARAGE	
REVISE F.A.R.:.....	2,221 sq.ft.

SCOPE OF WORK:

CONSTRUCTION OF A NEW TWO STORY SINGLE FAMILY DWELLING ON VACANT LOTS

VICINITY MAP



SHEET INDEX

A-0.0	TITLE SHEET
T-1.0	TOPOGRAPHIC SURVEY MAP
L1.01	IRRIGATION PLAN
L1.02	IRRIGATION DETAILS
L2.01	LANDSCAPE PLAN (PLANTING PLAN)
L2.02	PLANTING DETAILS
A-1.1	SITE PLAN
A-1.2	SITE PLAN (CUT ARE TABULATION)
A-1.3	ENLARGED SITE PLAN (RETAINING WALL & ELEVATIONS)
A-2.0	GARAGE LEVEL
A-2.0a	BUILDING AREA ANALYSIS
A-2.1	FIRST FLOOR
A-2.2	SECOND FLOOR
A-2.3	ROOF PLAN
A-2.4	DOOR AND WINDOW SCHEDULE
A-3.1	WEST EXTERIOR ELEVATION
A-3.2	NORTH & SOUTH EXTERIOR ELEVATIONS
A-3.3	COLORLED WEST EXTERIOR ELEVATION
A-3.4	NORTH & SOUTH EXTERIOR ELEVATIONS
A-4.0	SITE CROSS SECTIONS "A" & "B"
A-4.1	SITE CROSS SECTIONS "C" & "D"
A-4.2	SITE CROSS SECTIONS "E"

REVISION

MARK DATE REVISIONS



EC + Associates
e n g i n e e r i n g
8207 BROOKGREEN ROAD
DOWNEY, CA 90240
P: 562 708 3586 P: 562 714 2886

OWNER:
MR. EDUARDO J. CARRILLO
ADDRESS:
8207 BROOKGREEN RD.
DOWNEY, CA 90240

PROPOSED
NEW 2-STORY HOUSE
PROJECT ADDRESS:
1248 CORONA DR. GLENDALE, CA 91205
VACANT LAND.
GLENDALE CA 91205

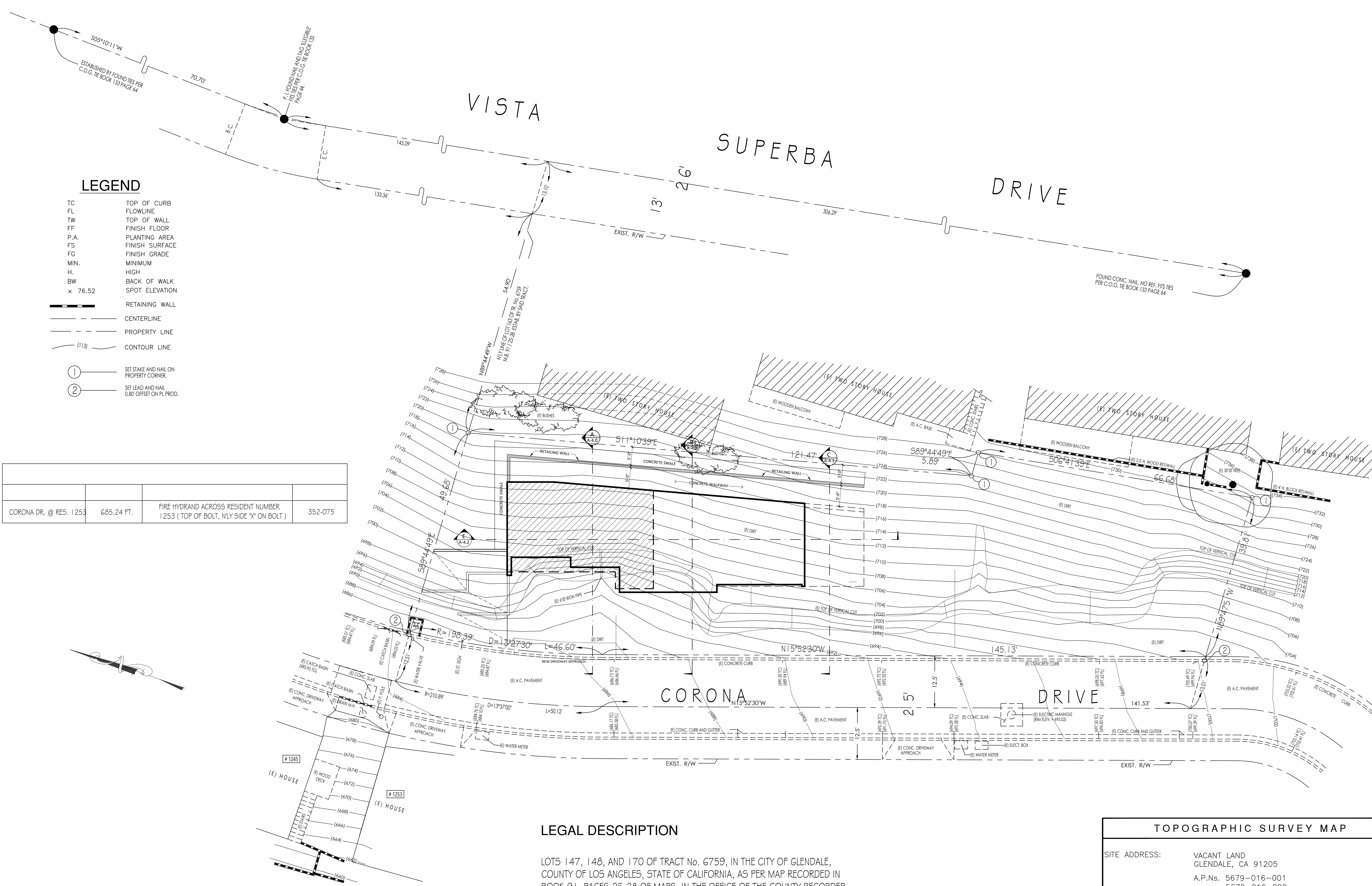
CHECK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK. REPORT DISCREPANCIES TO THE ENGINEER. ALL CONSTRUCTION SHALL CONFORM TO THE C.B.C.

TITLE SHEET



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DATE: 12 / 22 / 2015	CHECKED: E.C.

A-0.0
SHEET OF



LEGEND

- TC TOP OF CURB
- FL FLOWLINE
- TW TOP OF WALL
- FF FINISH FLOOR
- P.A. PLANTING AREA
- FS FINISH SURFACE
- FG FINISH GRADE
- MIN. MINIMUM
- H. HIGH
- BW BACK OF WALK
- x 76.52 SPOT ELEVATION

- RETAINING WALL
- CENTERLINE
- PROPERTY LINE
- CONTOUR LINE

- ① SET STAKE AND NAIL ON PROPERTY CORNER.
- ② SET LEAD AND NAIL 0.80' OFFSET ON PL PROD.

CORONA DR. @ RES. 1253	685.24 FT.	FIRE HYDRANT ACROSS RESIDENT NUMBER 1253 (TOP OF BOLT, NLY SIDE "X" ON BOLT)	352-075
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LEGAL DESCRIPTION

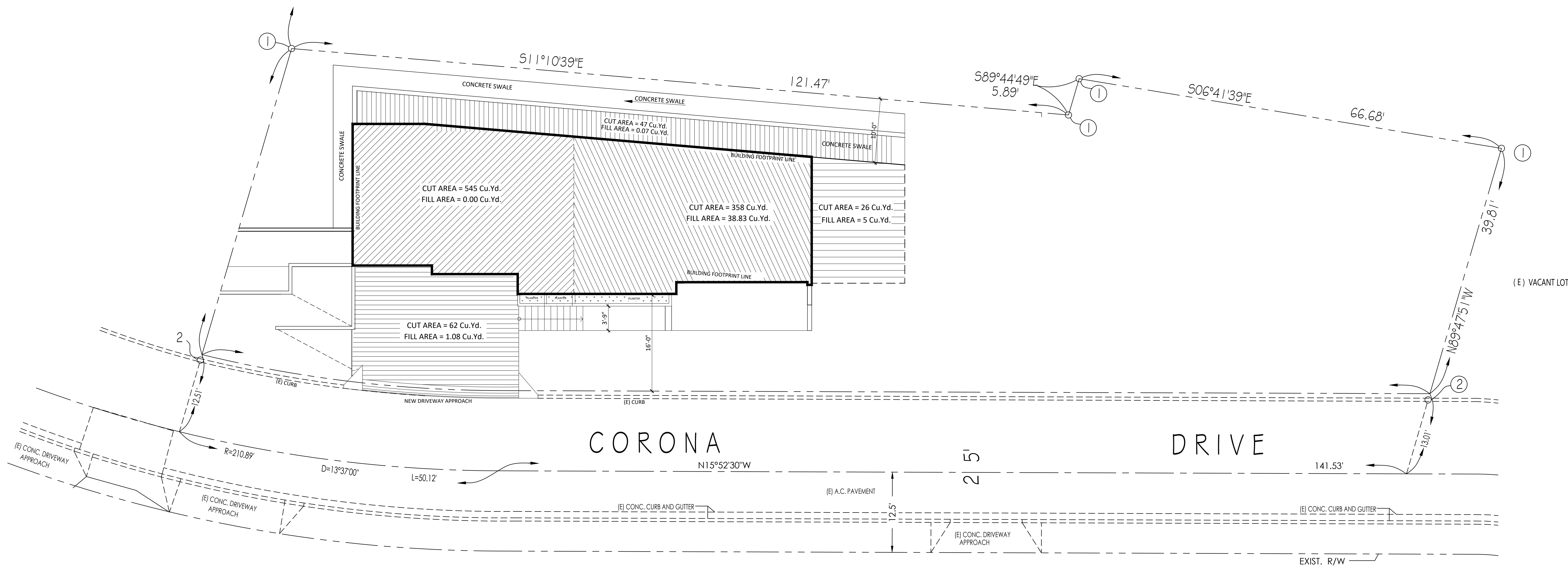
LOTS 147, 148, AND 170 OF TRACT No. 6759, IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 91, PAGES 25-28 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

TOPOGRAPHIC SURVEY MAP

SITE ADDRESS: VACANT LAND
GLENDALE, CA 91205
A.P.Ns. 5679-016-001
5679-016-002
5679-016-024

SCALE: 1"=10'

CITY OF GLENDALE



1 Site plan (CUT AREA)
SCALE 1/8" = 1'-0"

TOTAL CUT AREA=..... 1,038.00 Cu. Yd.
TOTAL FILL AREA=.....44.98 Cu. Yd.
TOTAL NET =.....993.02 Cu. Yd (cut)

06.09.21

REVISION

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1

2

3

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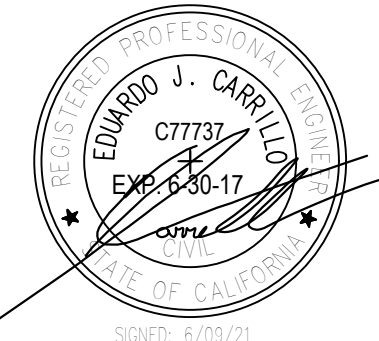
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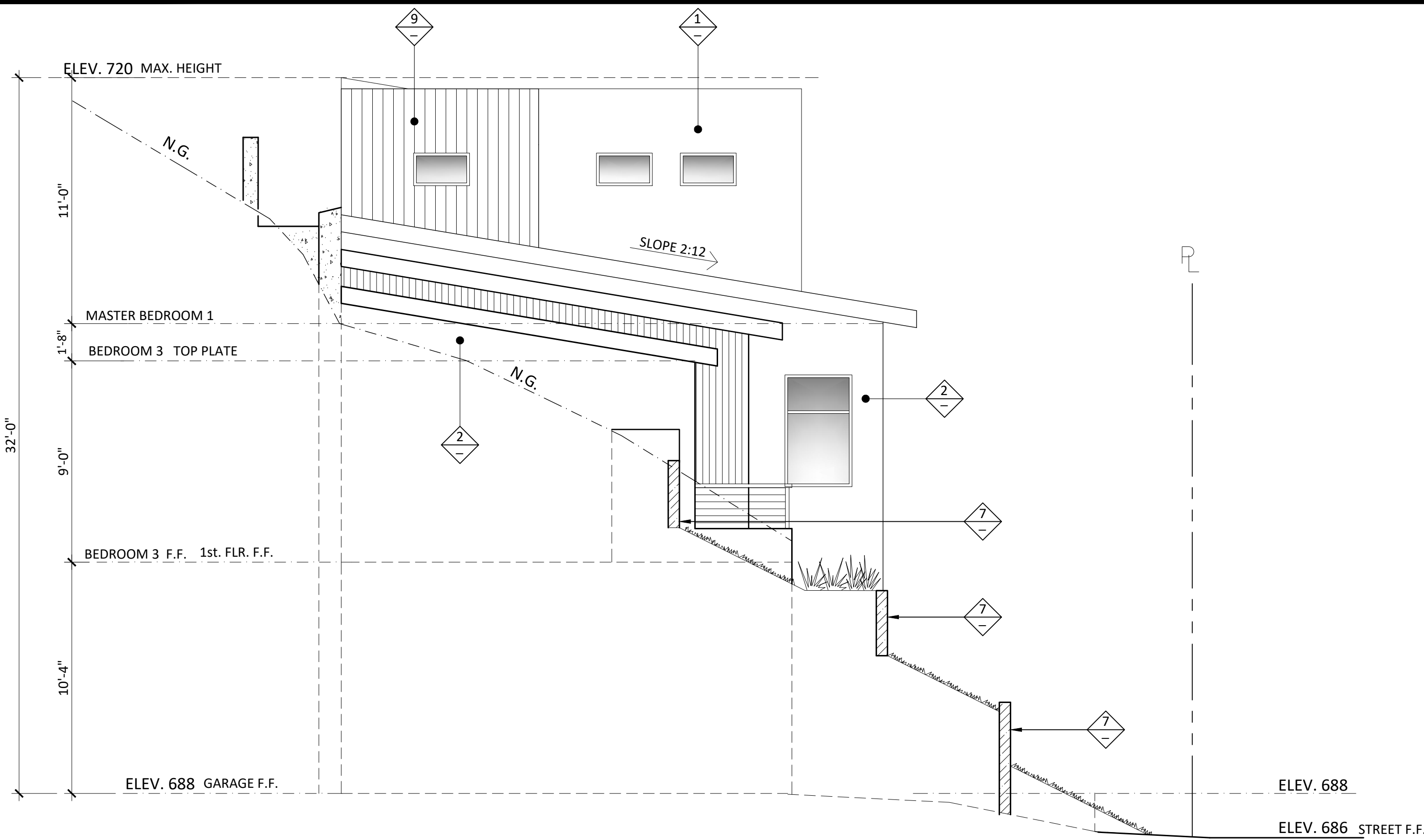
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TITLE
SITE PLAN
(CUT AREA)



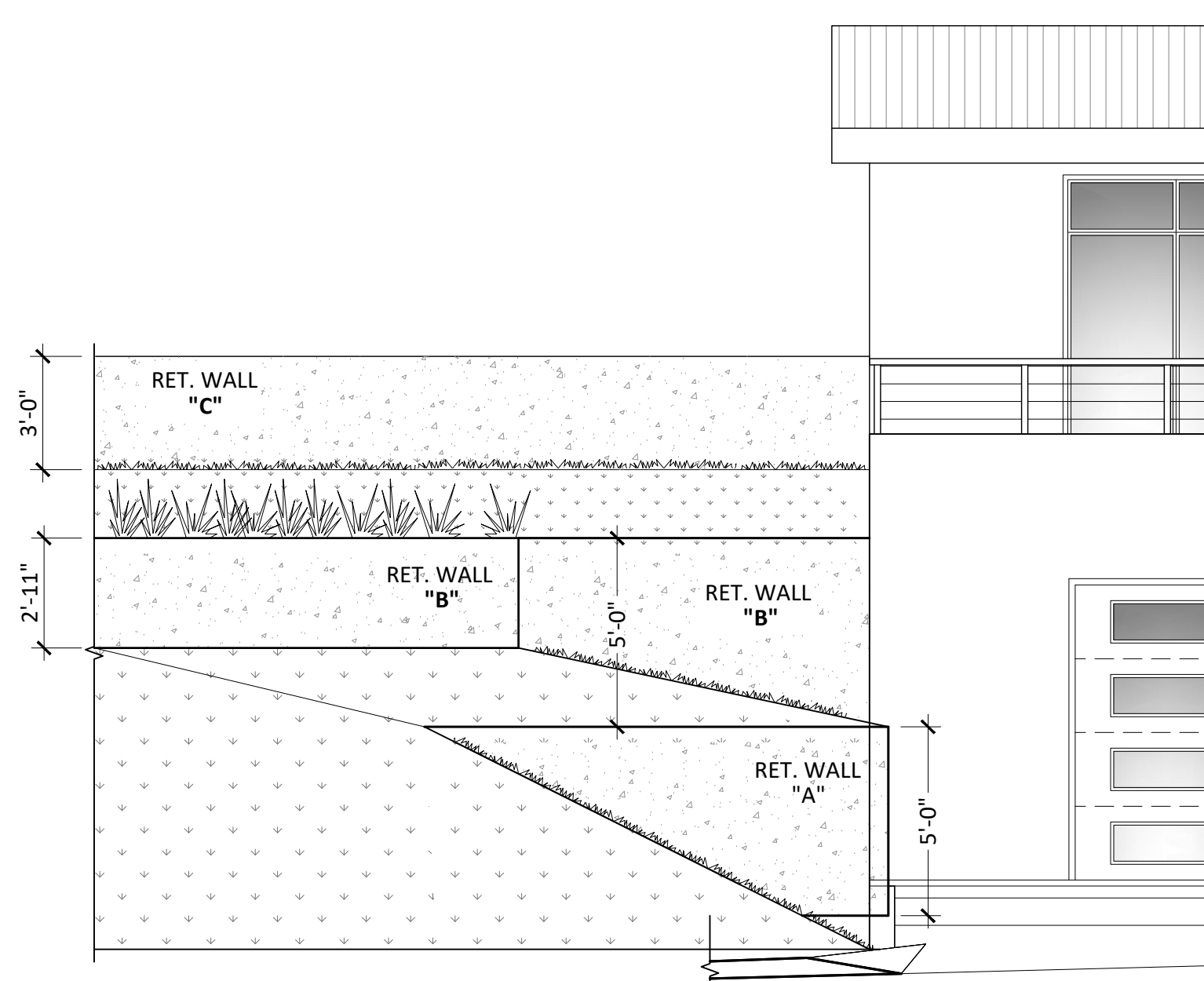
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A-1.2
SHEET OF

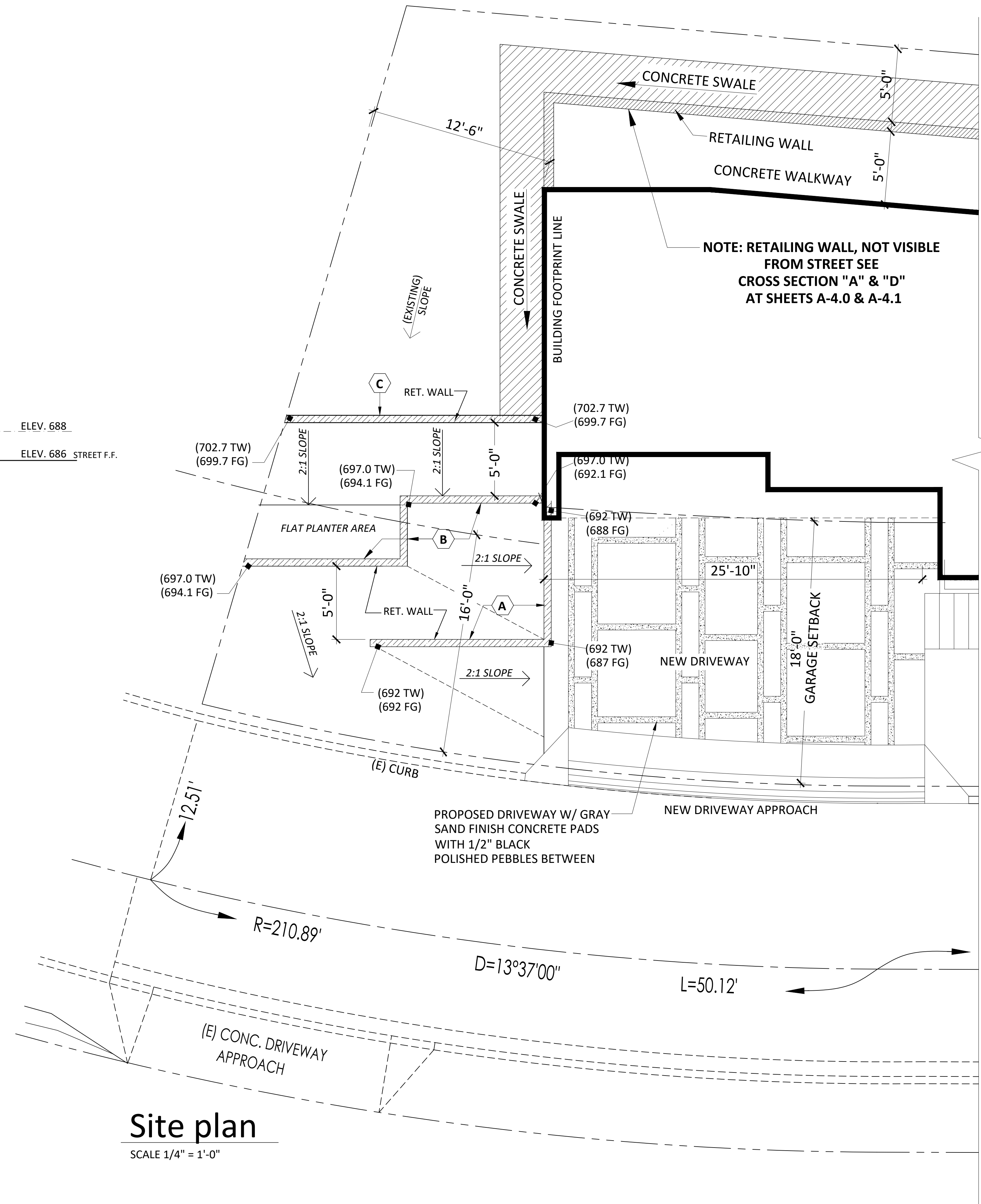


Retaining walls (Left side view)

SCALE 1/4" = 1'-0"



RETAINING WALL (FRONT VIEW)



Site plan

SCALE 1/4" = 1'-0"

06.09.21

REVISION

MARK DATE REVISIONS

1

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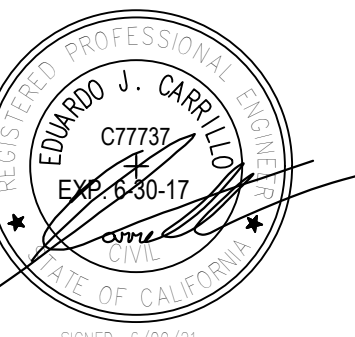
PROPOSED
NEW 2-STORY HOUSE

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1246 CORONA DR. GLENDALE, CA 91205
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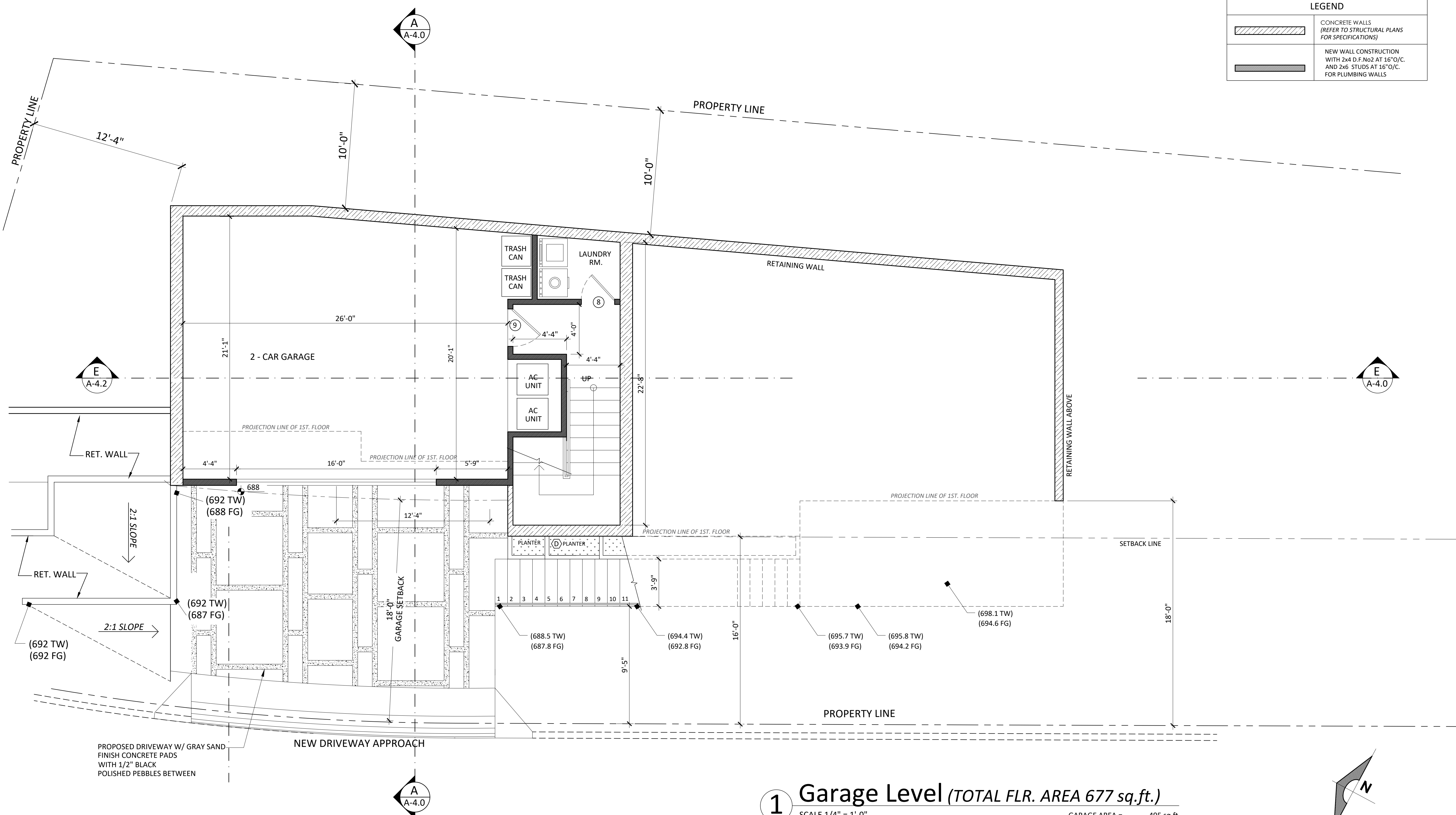
TITLE

RETAINING WALLS
PLAN &
ELEVATIONS



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A-1.3
SHEET OF



1 Garage Level (TOTAL FLR. AREA 677 sq.ft.)
SCALE 1/4" = 1'-0"

GARAGE AREA =495 sq.ft.
STAIRCASE AREA=120sq.ft.
LAUNDRY ROOM =32 sq.ft.
A.C. UNITS AREA=30 sq.ft.

06.09.21

REVISION

MARK	DATE	REVISIONS
1		
2		
3		

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engineering

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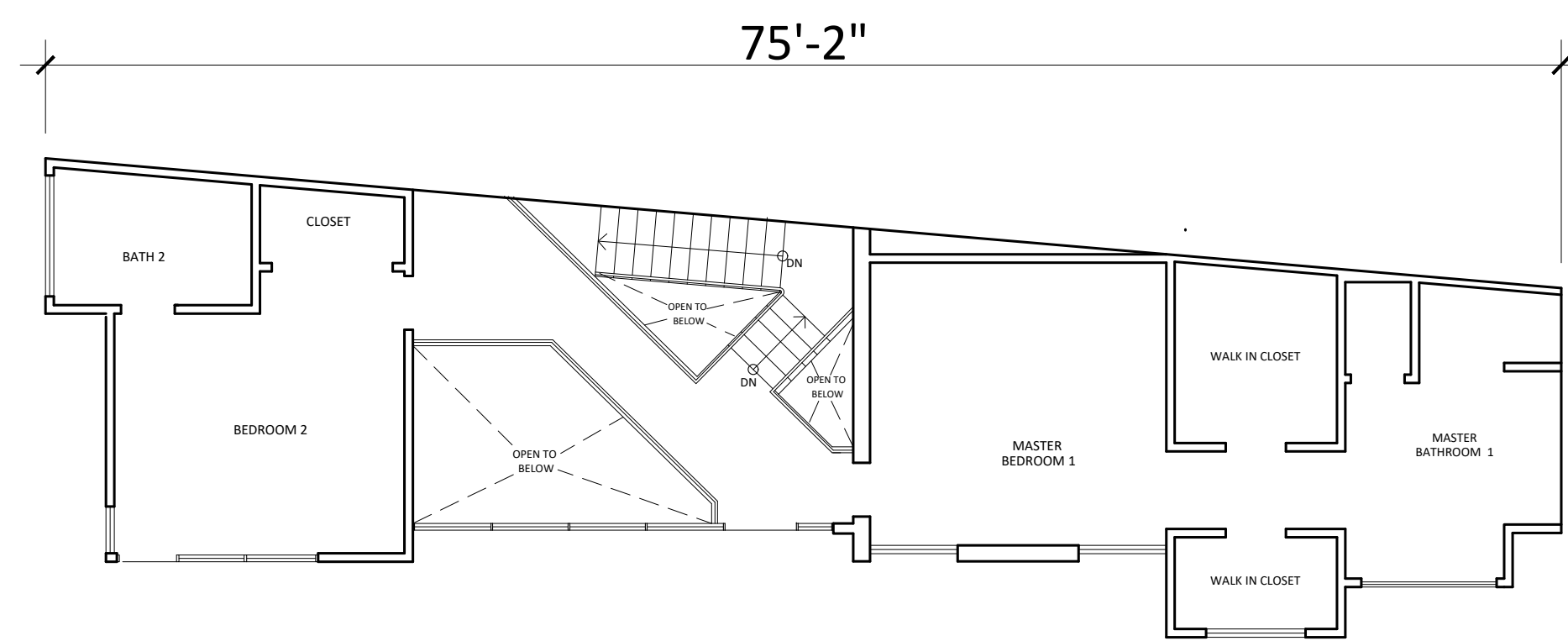
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GARAGE LEVEL

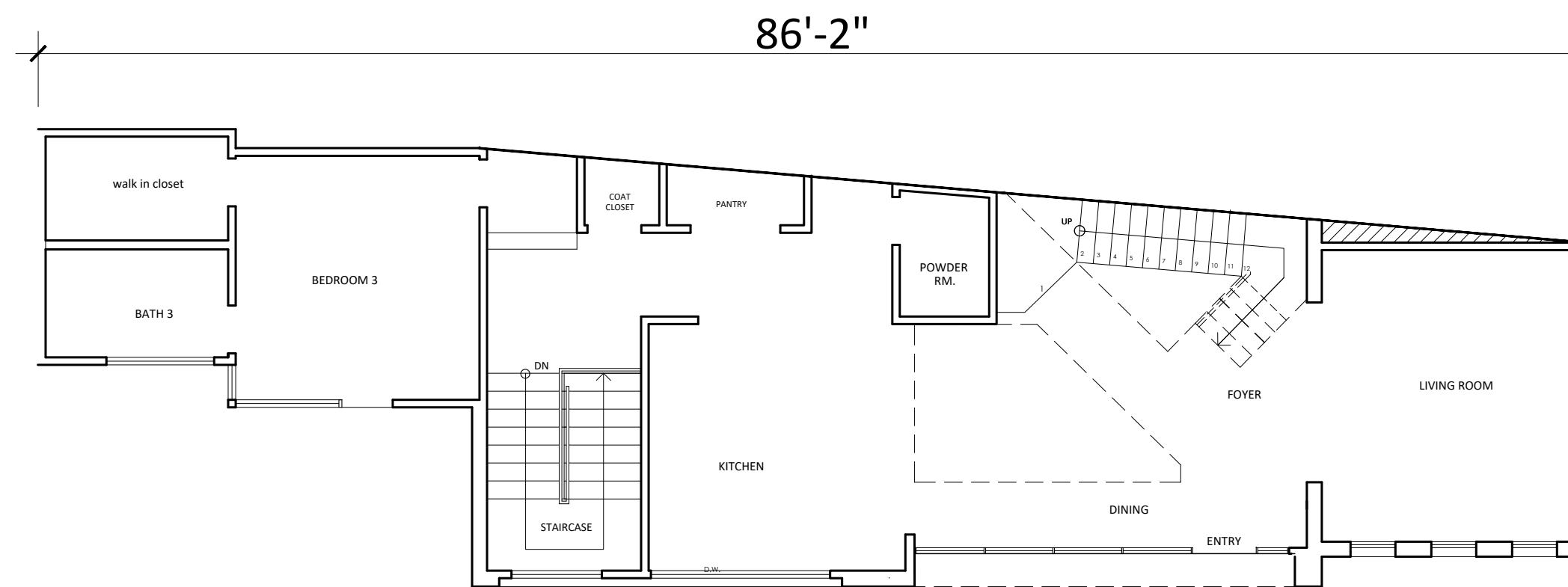
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A-2.0

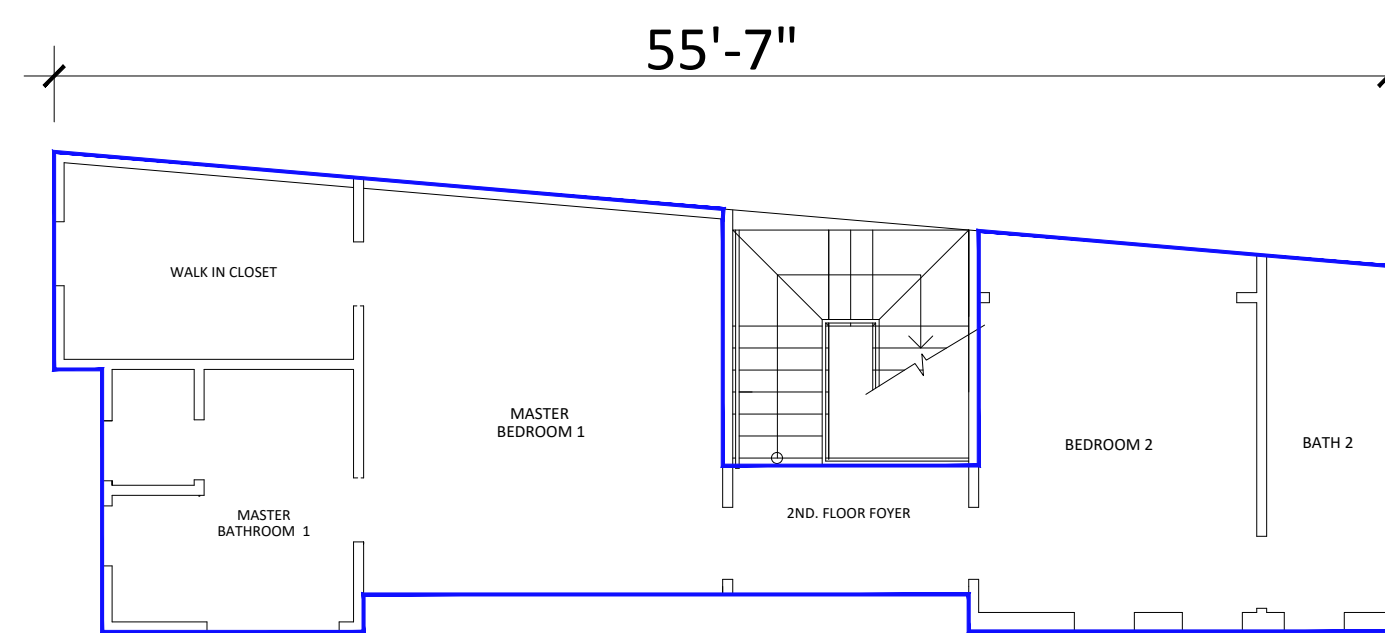
SHEET OF



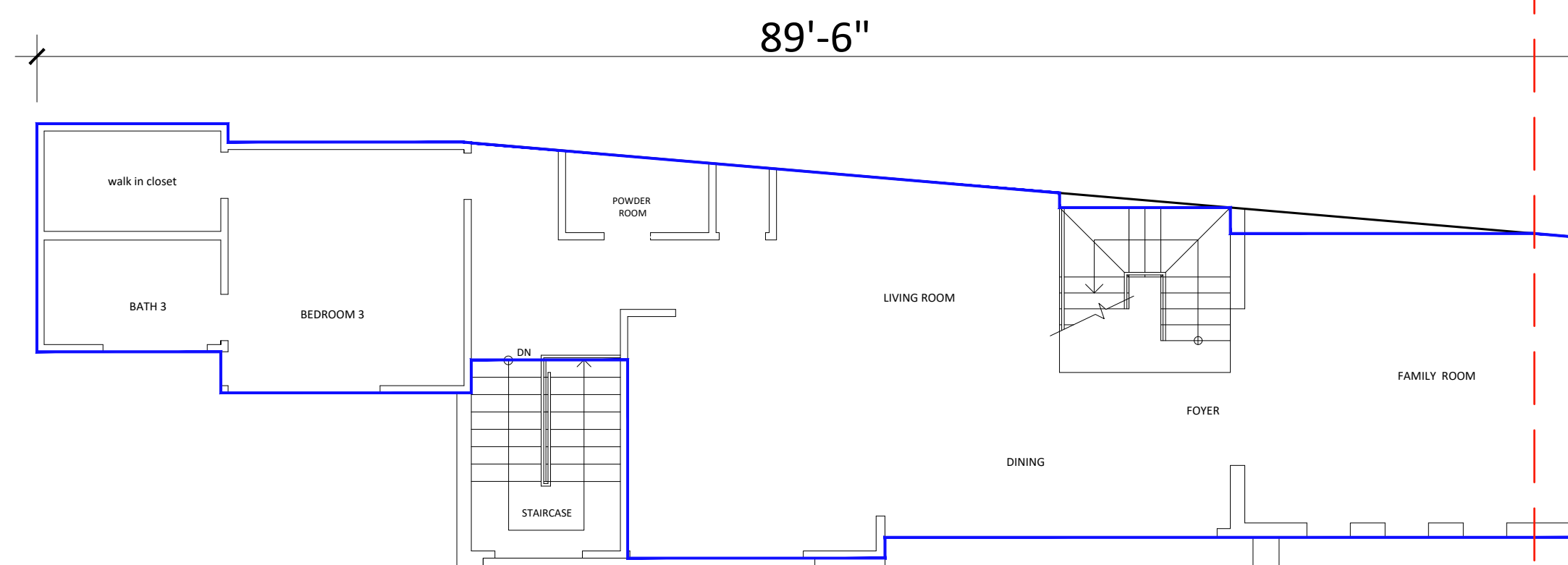
1st. SUBMITTAL 2nd. FLOOR PLAN = 938 sq.ft.
FOR REFERENCE ONLY



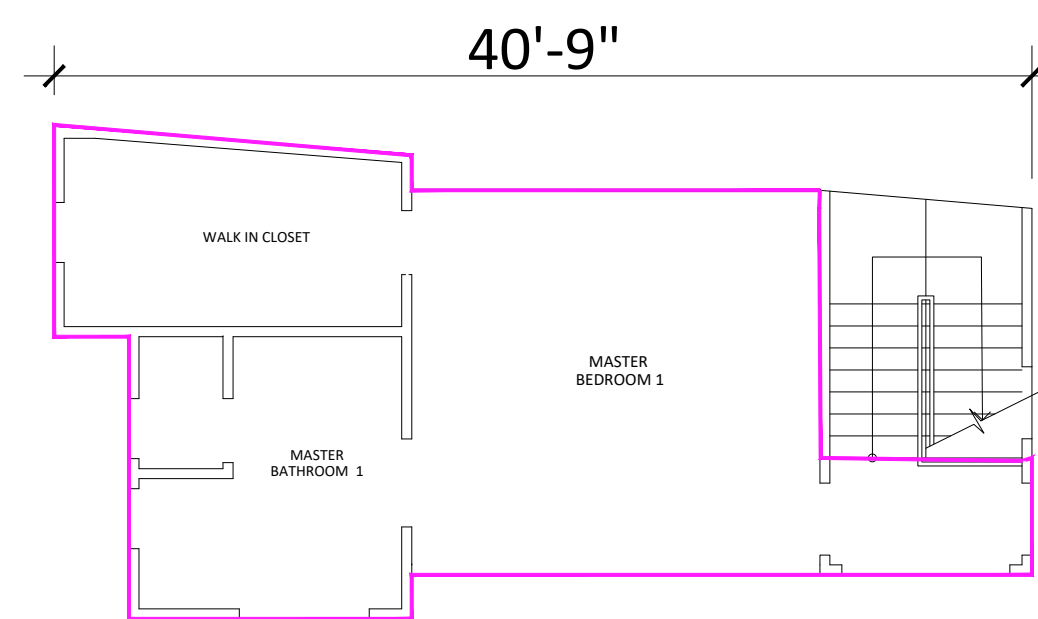
1st. SUBMITTAL 1st. FLOOR PLAN = 1,429 sq.ft.
FOR REFERENCE ONLY



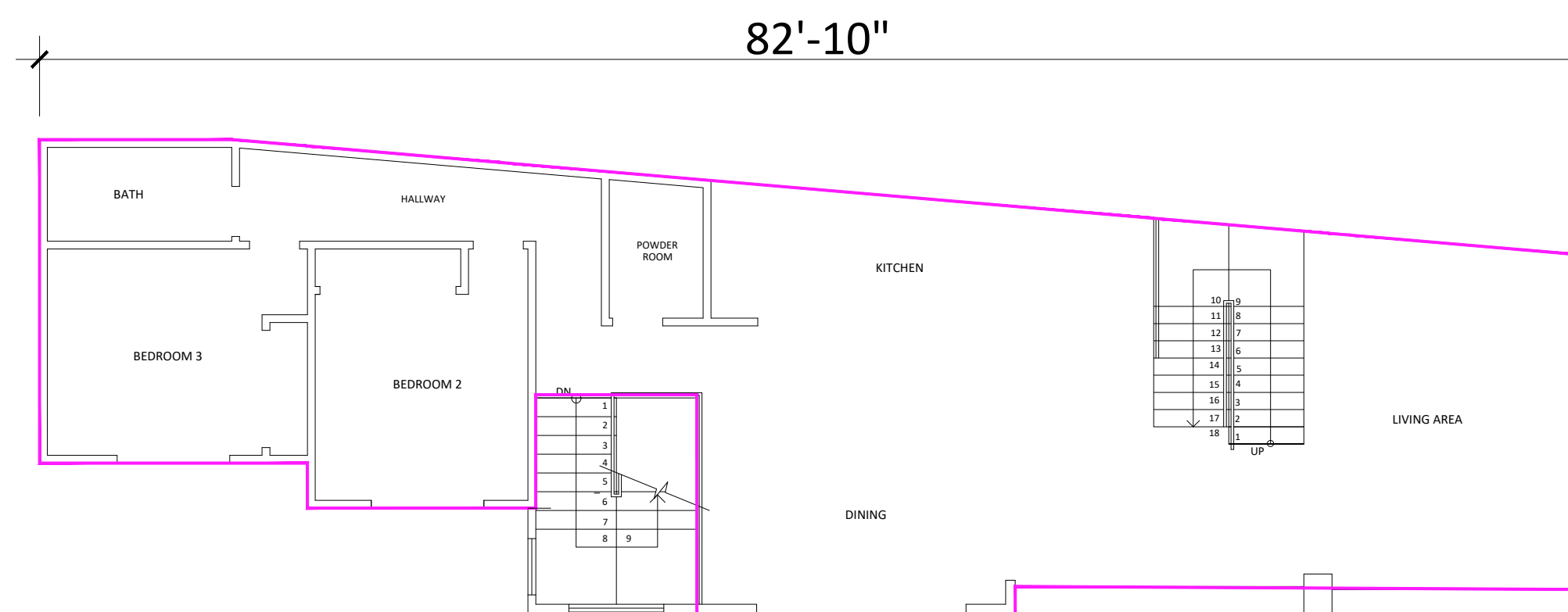
2nd. SUBMITTAL 2nd. FLOOR PLAN = 798 sq.ft.
FOR REFERENCE ONLY



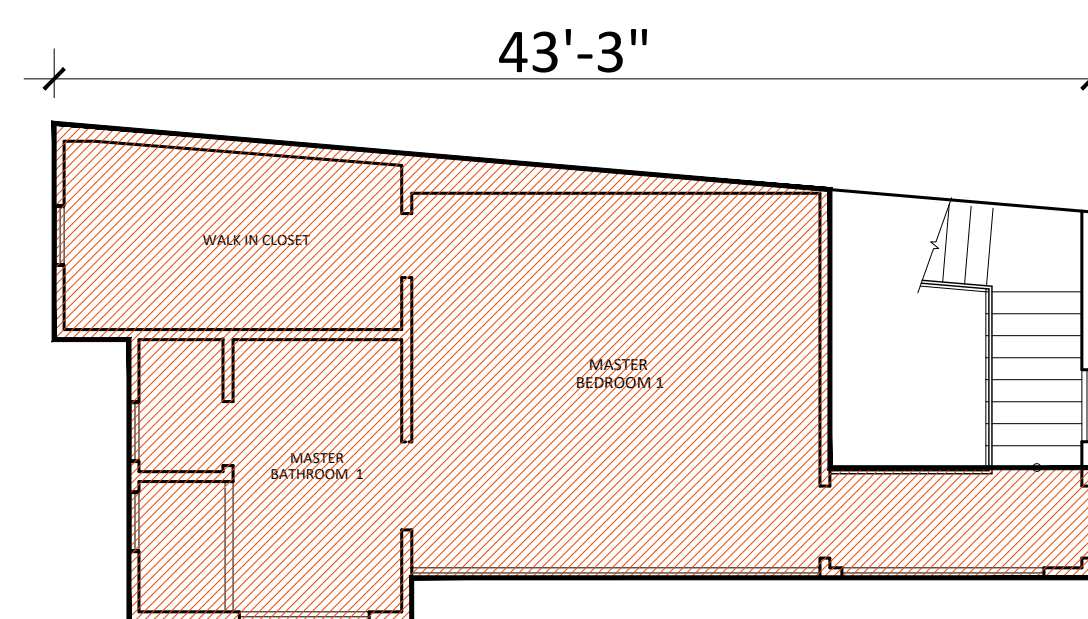
2nd. SUBMITTAL 1st. FLOOR PLAN = 1,538 sq.ft.
FOR REFERENCE ONLY



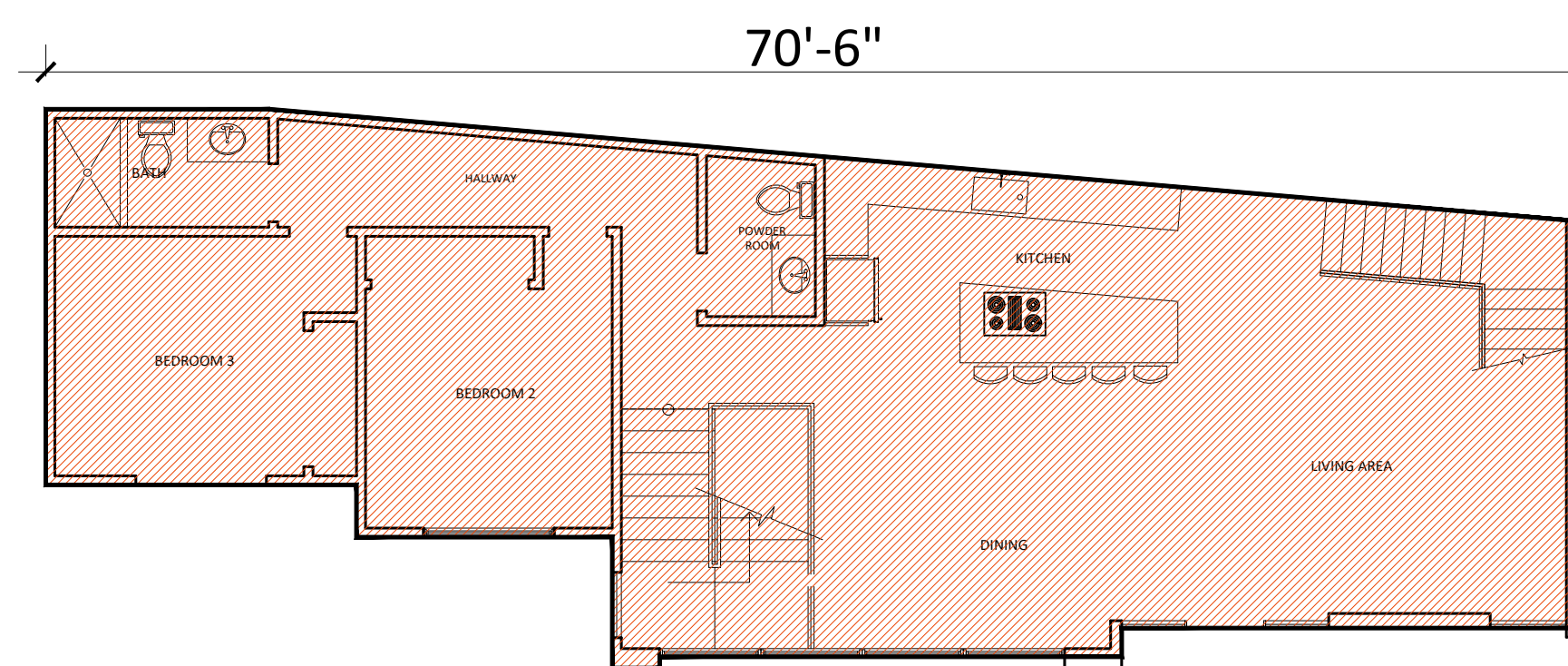
3rd. SUBMITTAL 2nd. FLOOR PLAN = 580 sq.ft.



3rd. SUBMITTAL 1ST FLOOR PLAN = 1,537sq.ft.
CURRENT SUBMITTAL



UPDATED 2nd. FLOOR PLAN = 580 sq.ft.
06.09.21



UPDATED 1ST FLOOR PLAN = 1,414 sq.ft.
06.09.21

LINEAR FOOT REDUCTION SUMMARY

PREVIOUS: 82'-10" (3RD. SUBMITTAL)
REDUCTION: 12'-4" (15%)
PROPOSED LINEAR FACADE FRONTAGE: 70'-6"

REVISION

MARK DATE REVISIONS

1

2

3

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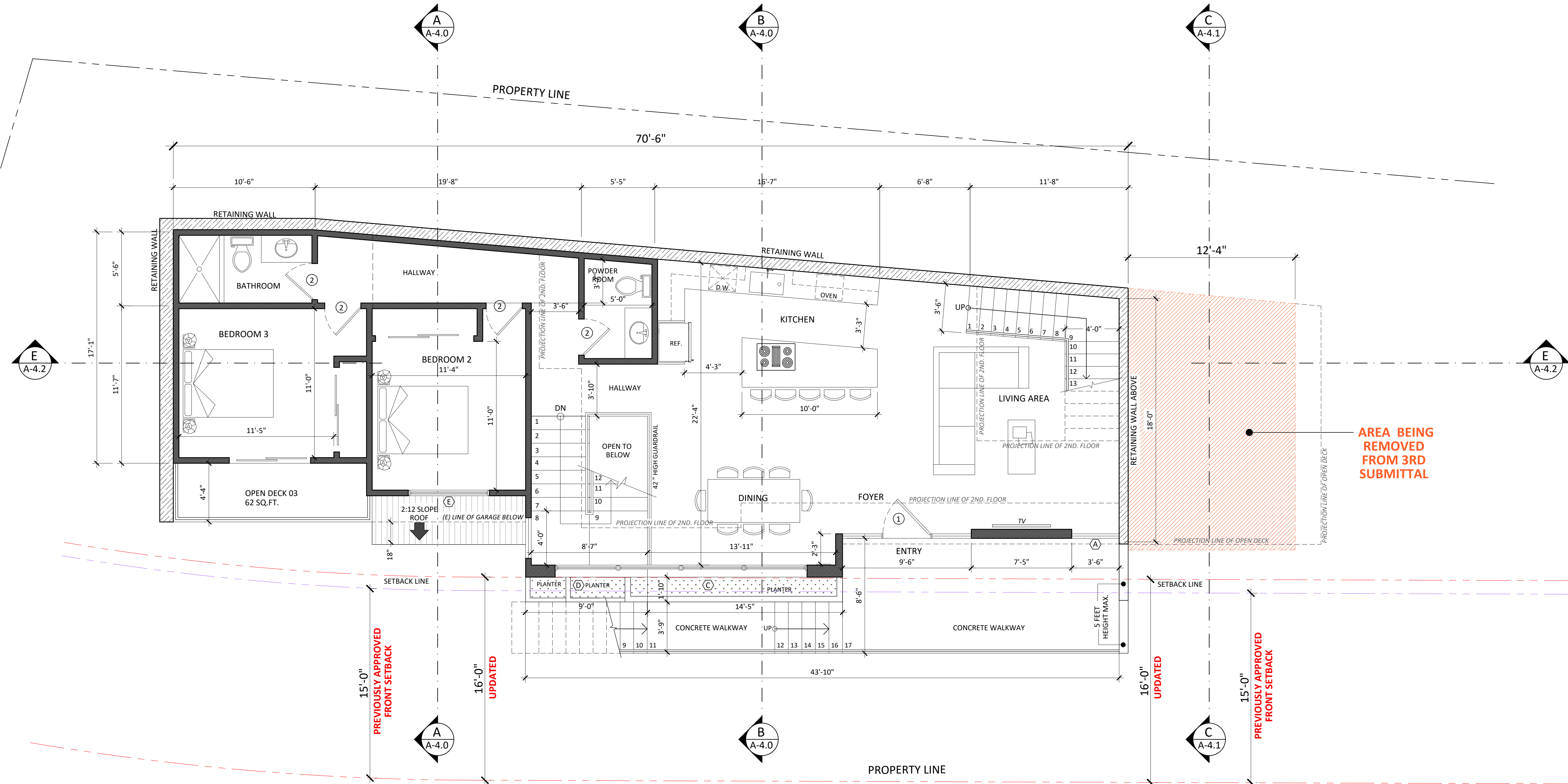
**BUILDING
WIDTH
ANALYSIS**



JOB #: 15-000	DRAWN: E.C.
DATE: 12 / 22 / 2016	CHECKED: E.C.

A-2.0a
SHEET OF

06.09.21



LEGEND	
	CONCRETE WALLS (REFER TO STRUCTURAL PLANS FOR SPECIFICATIONS)
	NEW WALL CONSTRUCTION WITH 2x4 D.F.No2 AT 16"O/C. AND 2x6 STUDS AT 16"O/C. FOR PLUMBING WALLS

1 First floor plan (1,537 sq.ft.)
SCALE 1/4" = 1'-0"
OPEN DECK 03= 62 sq.ft.

REVISION

MARK DATE REVISIONS

1		
2		
3		

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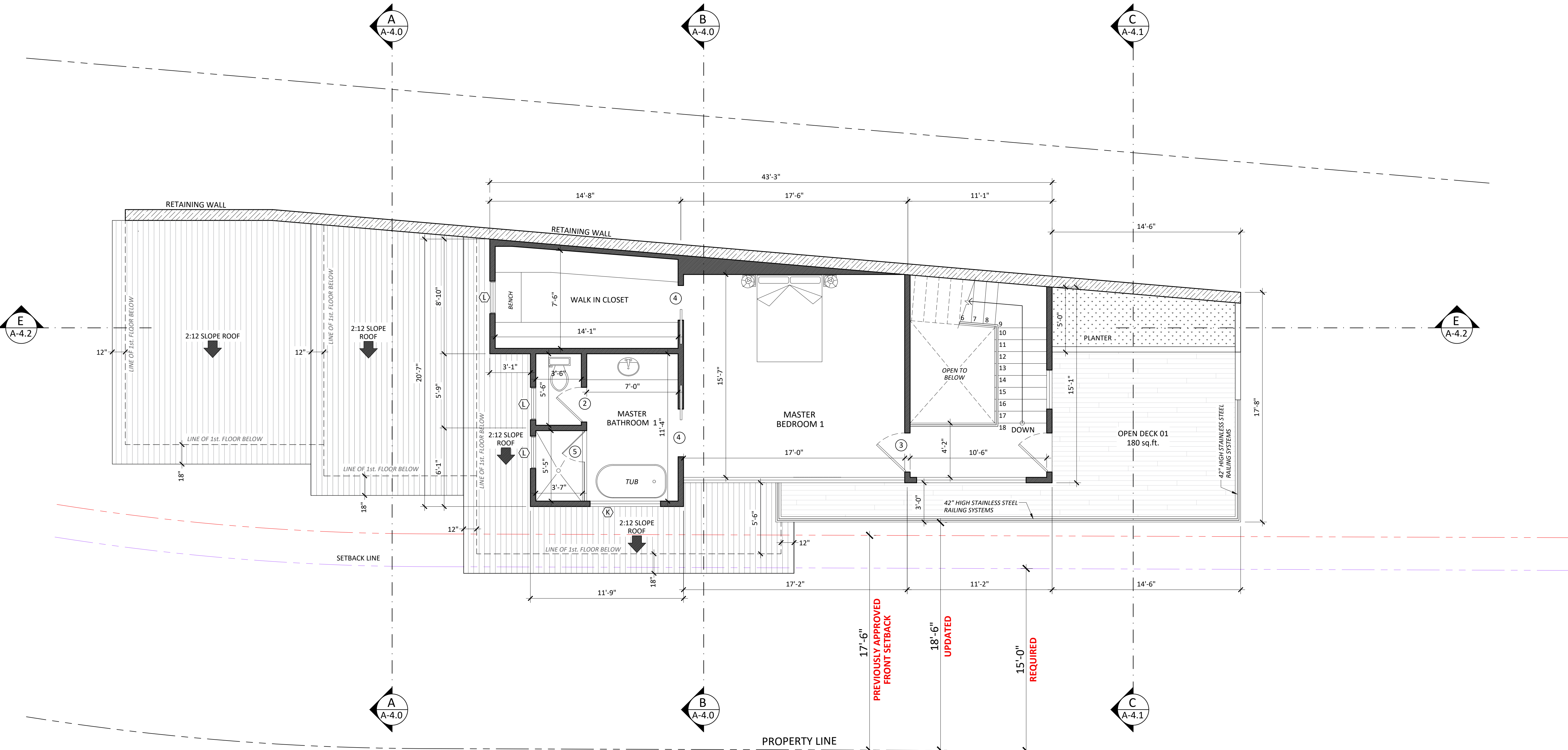
TITLE
FIRST FLOOR
PLAN



JOB #: 15-000	DRAWN: E.C.
DATE: 12 / 22 / 2016	CHECKED: E.C.

A-2.1
SHEET OF

06.09.21



LEGEND	
	CONCRETE WALLS (REFER TO STRUCTURAL PLANS FOR SPECIFICATIONS)
	NEW WALL CONSTRUCTION WITH 2x4 D.F.No2 AT 16"O/C. AND 2x6 STUDS AT 16"O/C. FOR PLUMBING WALLS

1 2nd floor plan (580 sq.ft.)
SCALE 1/4" = 1'-0" OPEN DECK 01= 180 sq.ft.

REVISION

MARK DATE REVISIONS

1

2

3

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e n g i n e e r i n g
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8207 BROOKGREEN RD.
DOWNEY, CA 90240

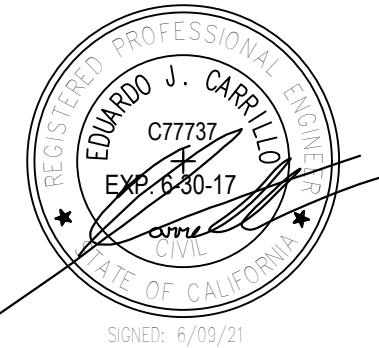
PROPOSED
NEW 2-STORY HOUSE

PROJECT ADDRESS:
1246 CORONA DR. GLENDALE, CA 91205
VACANT LAND,
GLENDALE CA 91205

CHECK AND VERIFY ALL
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TITLE

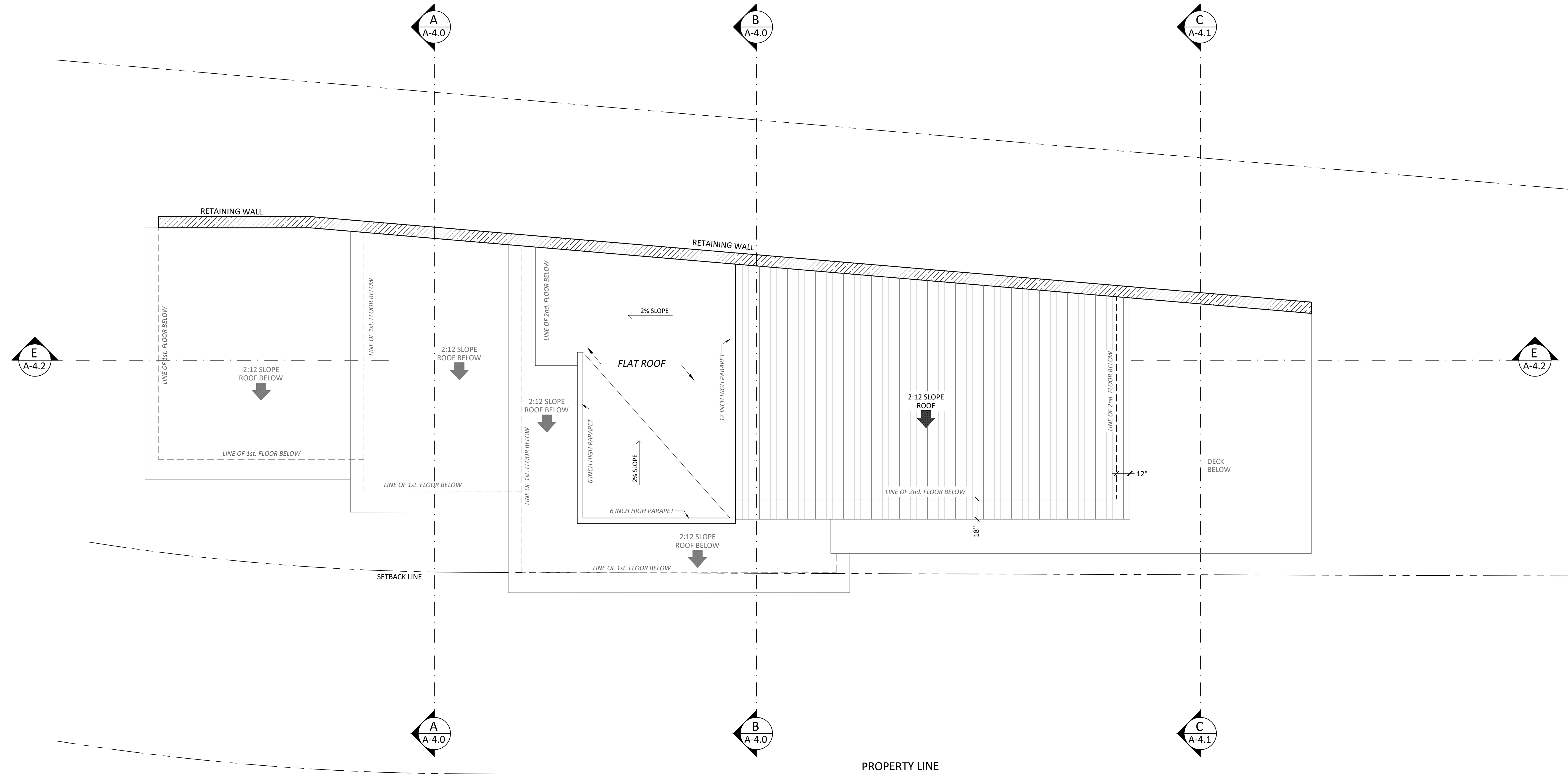
SECOND FLOOR
PLAN



JOB #: 15-000	DRAWN: E.C.
DATE: 12 / 22 / 2016	CHECKED: E.C.

A-2.2

SHEET OF



06.09.21

REVISION

MARK	DATE	REVISIONS
1		
2		
3		

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engineering

8207 BROOKGREEN ROAD
DOWNEY, CA 90240
P: 562 708 3586 P: 562 714 2886

OWNER:
MR. EDUARDO J. CARRILLO

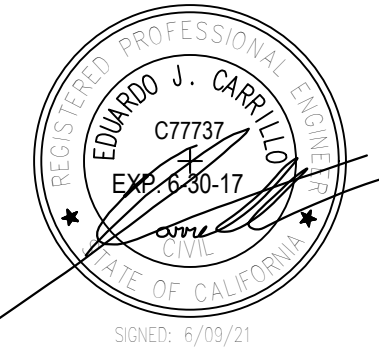
ADDRESS:
8207 BROOKGREEN RD.
DOWNEY, CA 90240

PROPOSED
NEW 2-STORY HOUSE

PROJECT ADDRESS:
1246 CORONA DR. GLENDALE, CA 91205
VACANT LAND,
GLENDALE CA 91205

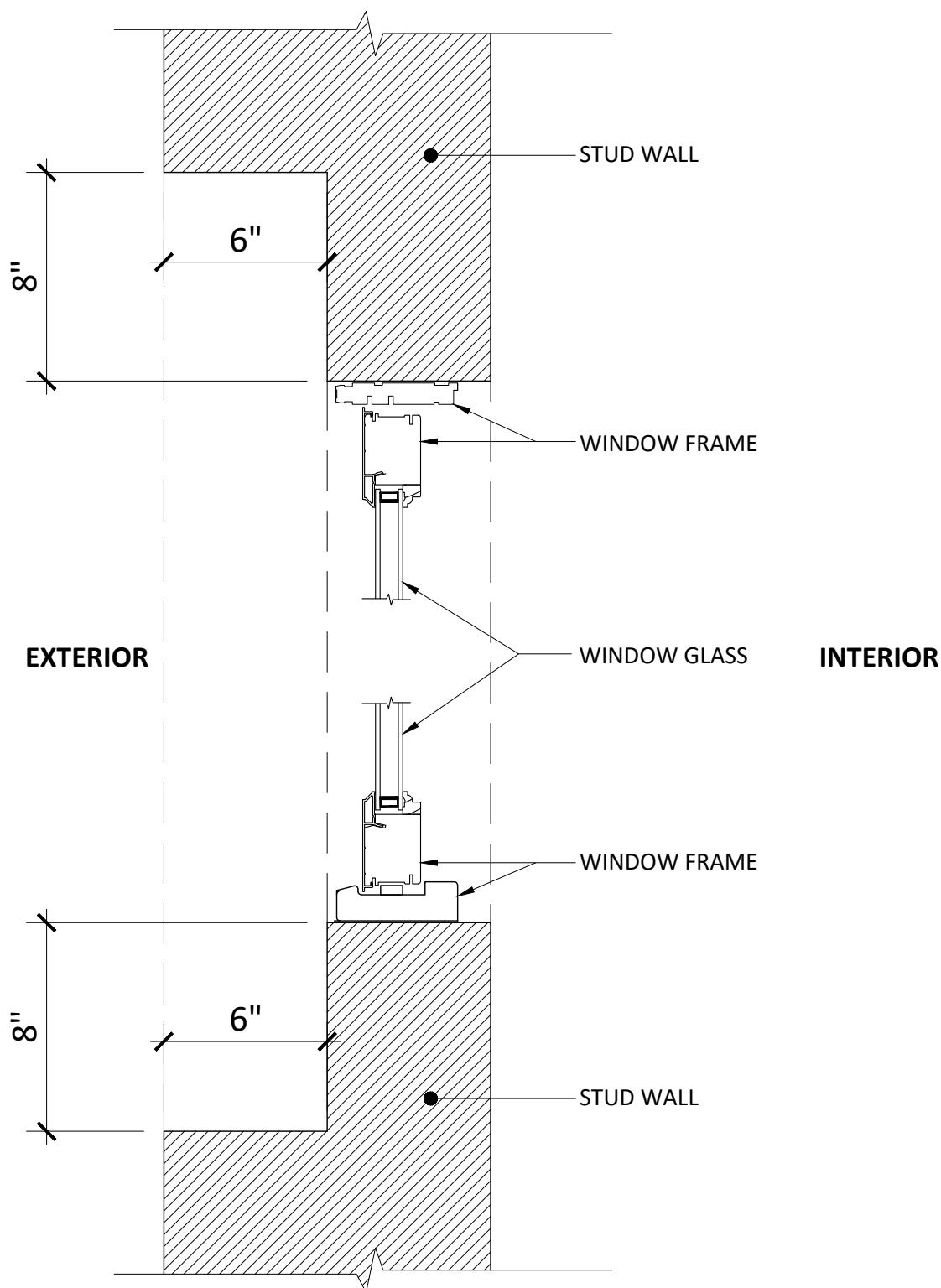
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TITLE
ROOF PLAN

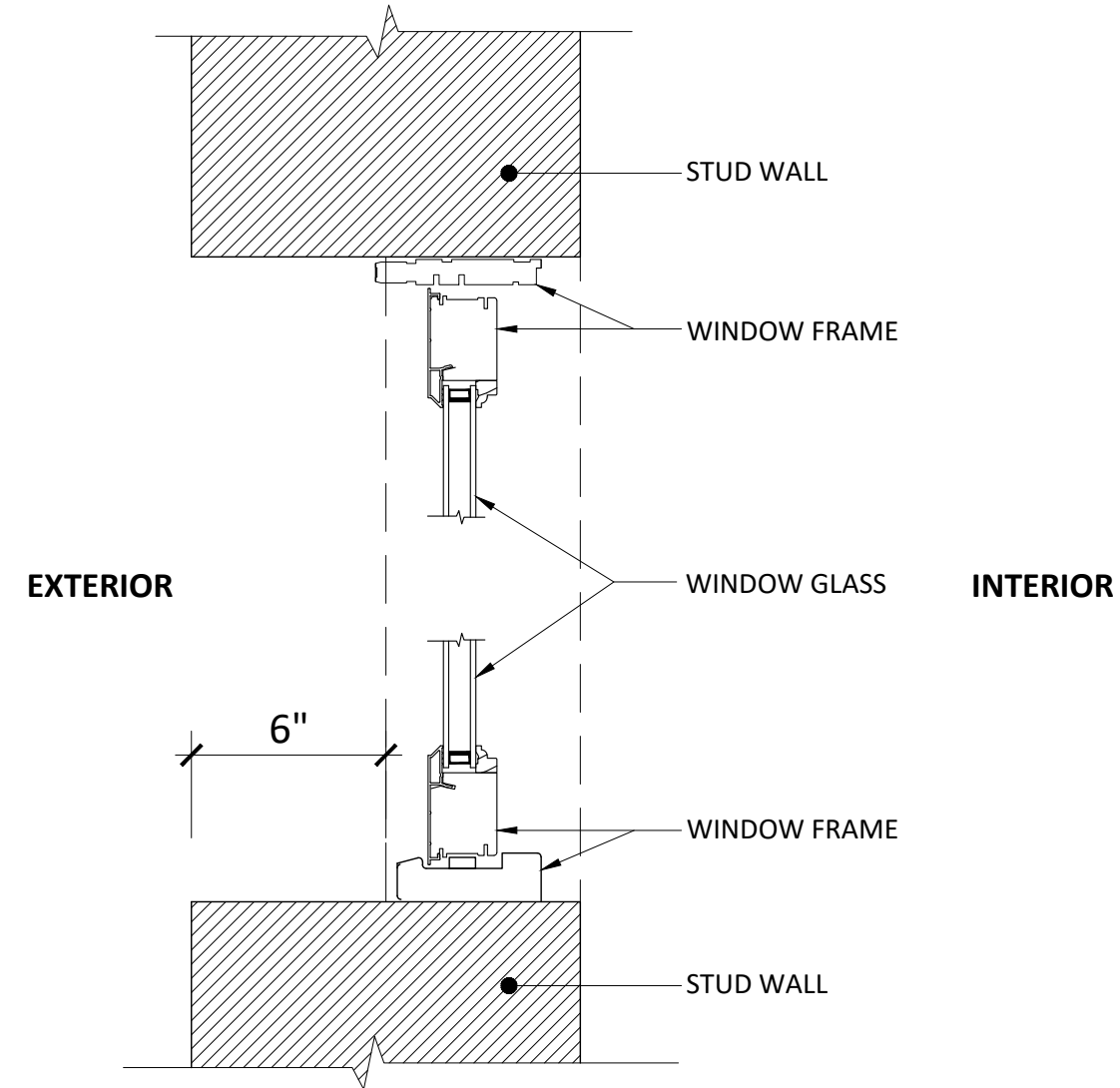


JOB #: 15-000	DRAWN: E.C.
DATE: 12 / 22 / 2016	CHECKED: E.C.

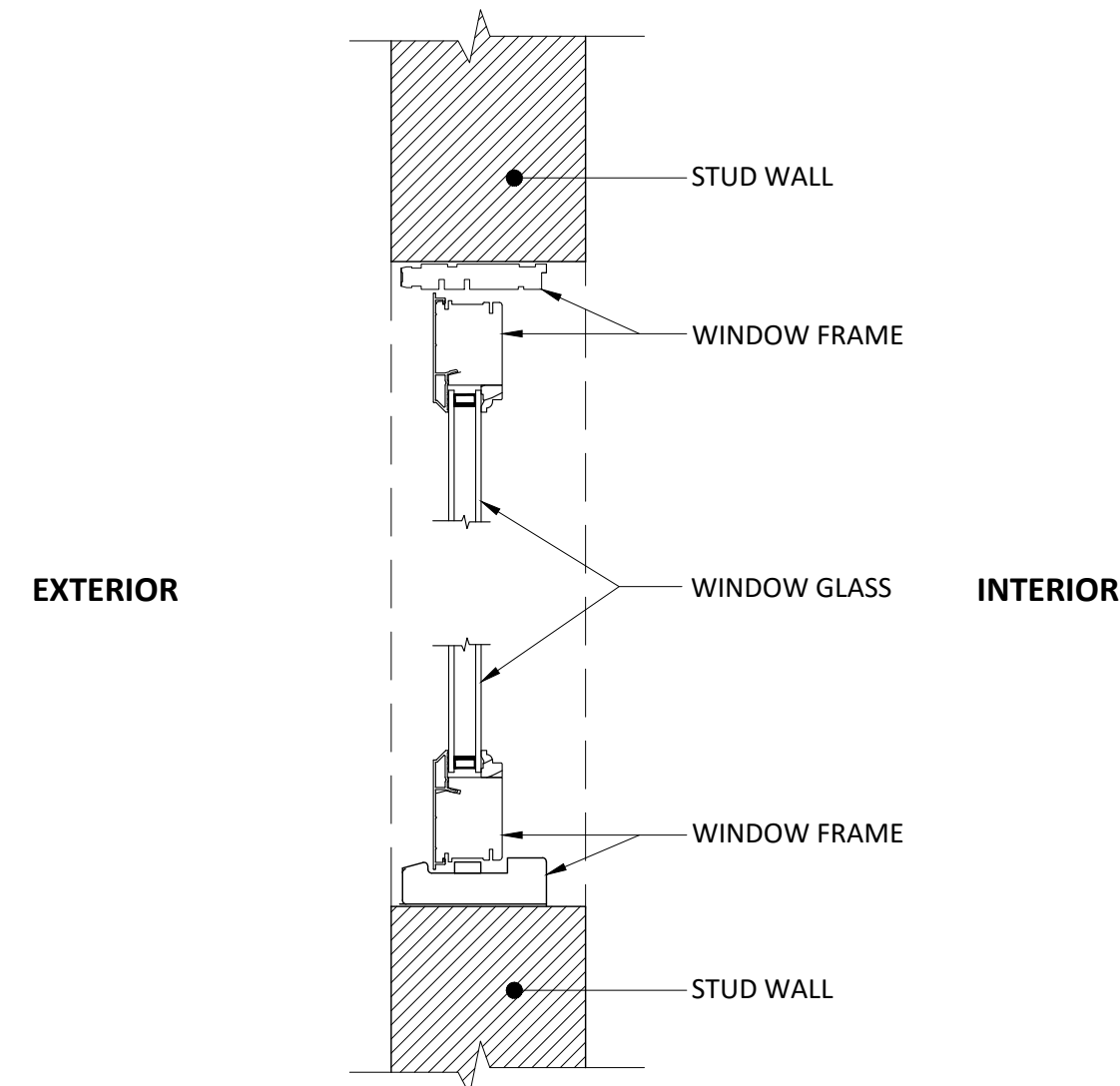
A-2.3
SHEET OF



FLASH / RECESSED - WINDOW SECTION TYPE 3

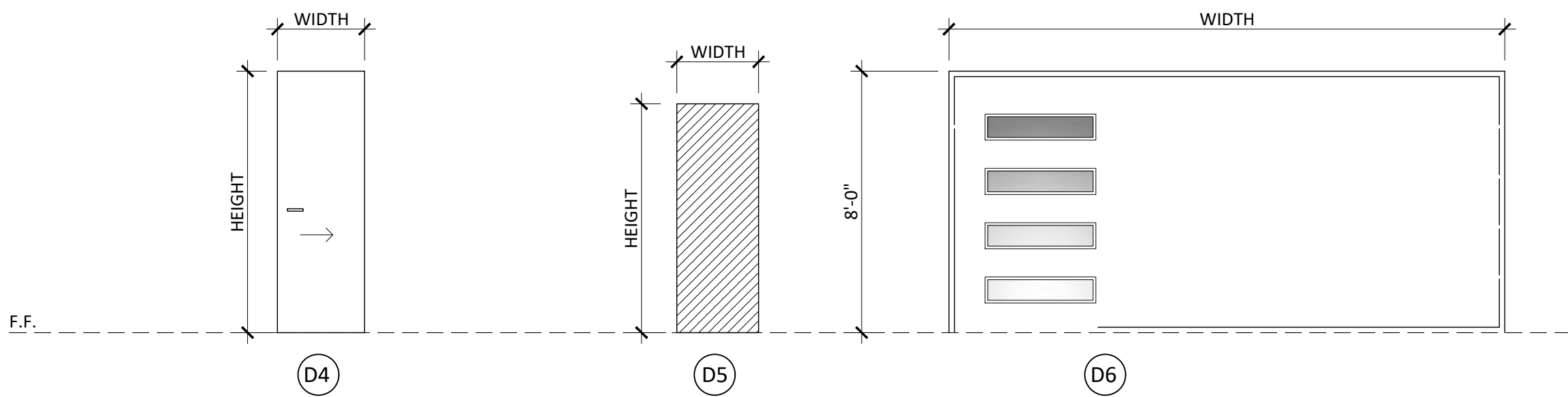
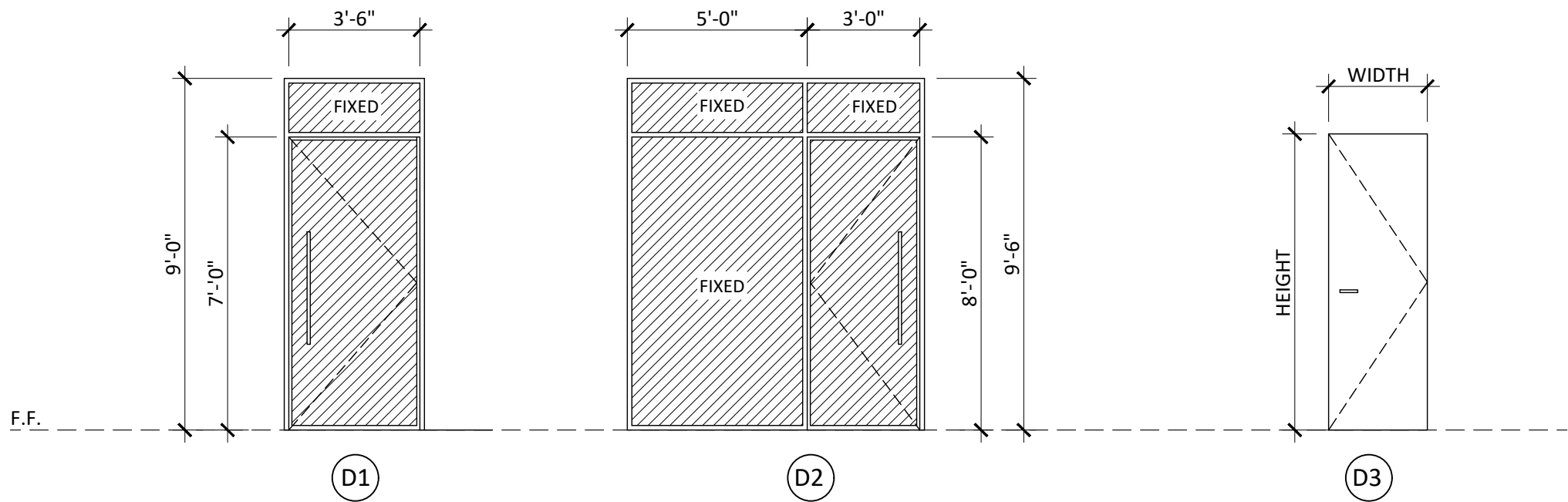


RECESSED - WINDOW SECTION TYPE 2

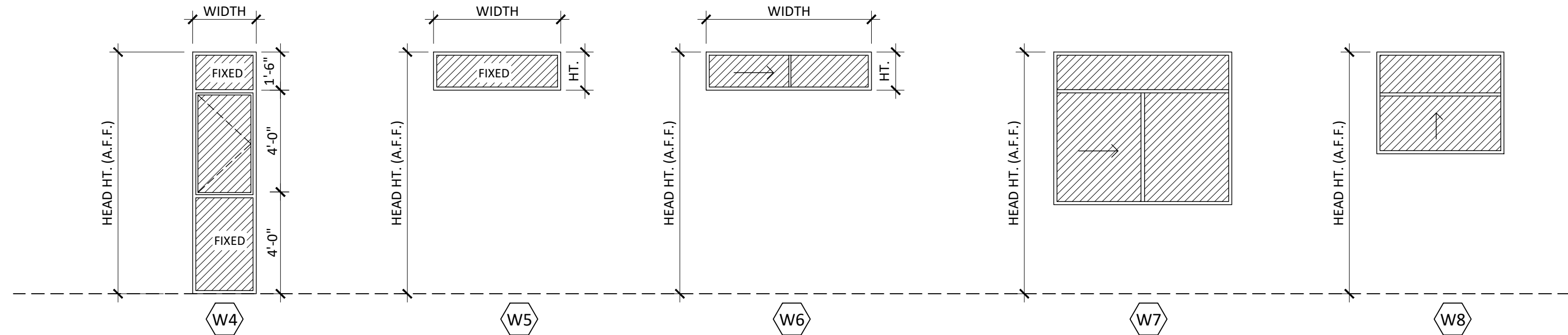
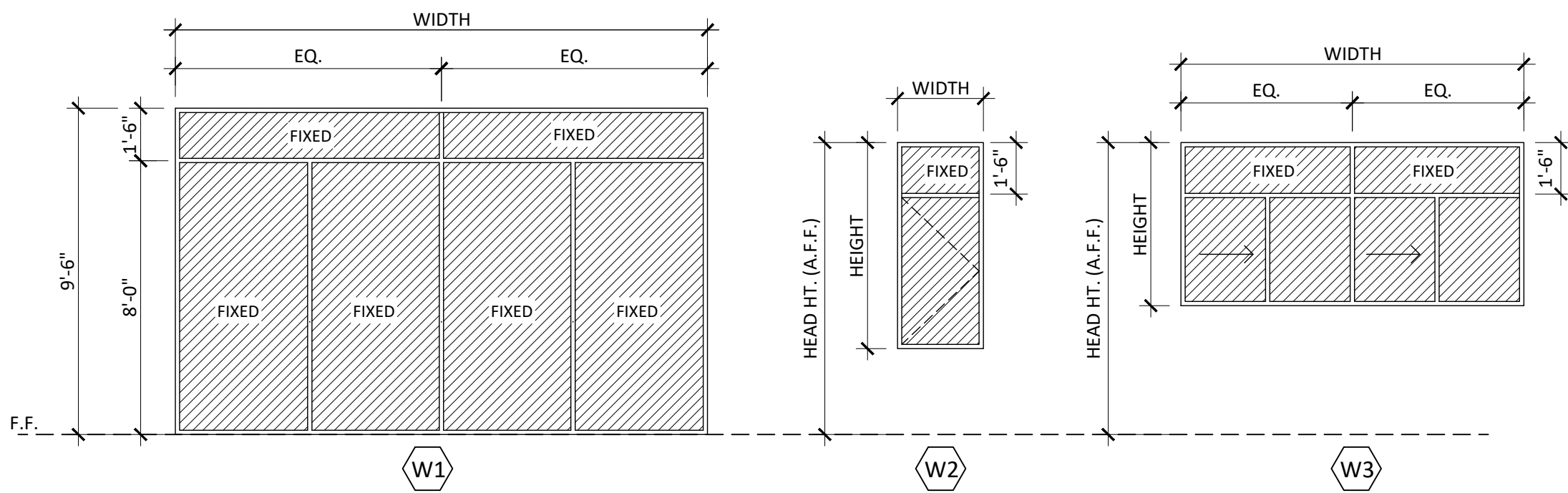


FLASH - WINDOW SECTION TYPE 1

DOOR TYPE / VIEW FROM EXTERIOR SIDE



WINDOW TYPE / VIEW FROM EXTERIOR SIDE



DOOR SCHEDULE

SYM.	SIZE			TYPE		REMARKS	
	W	H	THK.				
①	3'-6"	7'-0"	1-3/4"	D1	ALUM. GLASS PANEL	SWING, TEMP. GLASS , FRONT DOOR	
②	2'-8"	8'-0"	1-3/4"	D3	WOOD SOLID CORE FLUSH SLAB	SWING DOOR , POWDER ROOM BEDROOM 2,3 BATH 2 MASTER BATH	
③	3'-0"	8'-0"	1-3/4"	D3	WOOD SOLID CORE FLUSH SLAB	BEDROOM 2, 3 , MASTER BEDROOM 1	
④	2'-8"	8'-0"	1-3/4"	D4	WOOD SOLID CORE FLUSH SLAB	POCKET DOOR, MASTER BATH 1, WALK-IN CLOSET	
⑤	2'-6"	7'-0"		D5	GLASS SHOWER DOOR	SLIDING, TEMPERED GLASS, DOOR & ENCLOSURE	
⑥	3'-0"	8'-0"	1-3/4"	D1	ALUM. GLASS PANEL	SWING, TEMPERED GLASS , DECK 01	
⑦	16'-0"	8'-0"		D6	ALUM. GARAGE DOOR	ROLL UP, GARAGE DOOR	
⑧	2'-8"	8'-0"	1-3/4"	D3	WOOD SOLID CORE FLUSH SLAB	SWING, LAUNDRY ROOM	
⑨	3'-0"	8'-0"	1-3/4"	D3	WOOD SOLID CORE FLUSH SLAB	SWING, GARGE	

WINDOW SCHEDULE

SYM.	SIZE			HEAD HT. (A.F.F.)	TYPE			REMARKS	
	W	H	THK.						
Ⓐ	14'-0"	8'-5"	1-3/4"	8'-6"	W1	ALUM. CLAD, FIXED	1	FLUSH	TEMP. GLASS , ENTRY
Ⓑ	7'-0"	6'-0"	1-3/4"	8'-6"	W7	ALUM. CLAD, FIXED, SLIDER	1	FLUSH / RECESSED	LIVING ROOM
Ⓒ	10'-0"	6'-0"	1-3/4"	8'-6"	W3	ALUM. CLAD, FIXED, SLIDER	1	FLUSH / RECESSED	DINING
Ⓓ	5'-0"	6'-0"	1-3/4"	--	W7	ALUM. CLAD, FIXED, SLIDER	1	FLUSH / RECESSED	STAIRS
Ⓔ	5'-0"	4'-0"	1-3/4"	--	W8	ALUM. CLAD, SINGLE HUNG	1	FLUSH / RECESSED	STAIRS
Ⓕ	2'-0"	9'-6"	1-3/4"	9'-6"	W1	ALUM. CLAD, FIXED	1	FLUSH	BATHROOM 3
Ⓖ	6'-0"	1'-6"	1-3/4"	9'-6"	W6	ALUM. CLAD, SLIDER		FLUSH	BATH 3
Ⓗ	2'-6"	9'-0"	1-3/4"	9'-0"	W1	ALUM. CLAD, FIXED	1	FLUSH	MASTER BEDROOM 1
Ⓘ	9'-6"	9'-0"	1-3/4"	9'-0"	W1	ALUM. CLAD, FIXED	1	FLUSH	MASTER BEDROOM 1
Ⓙ	2'-6"	6'-0"	1-3/4"	9'-0"	W2	ALUM. CLAD, CASEMENT, FIXED	1	FLUSH / RECESSED	BEDROOM 2
Ⓚ	5'-6"	4'-0"	1-3/4"	9'-0"	W7	ALUM. CLAD, CASEMENT, FIXED	1	FLUSH	MASTER BATH 1
Ⓛ	2'-6"	1'-6"	1-3/4"	9'-0"	W5	ALUM. CLAD, AWNING	3	FLUSH	MASTERBATH, WALK-IN CLOSET
Ⓜ	3'-0"	1'-6"	1-3/4"	8'-8"	W5	ALUM. CLAD, SLIDER	1	FLUSH	BATH 2

NOTE:
ALL EXTERIOR DOORS FRAME AND ALL WINDOWS FRAME TO BE COLOR BLACK

REVISION

MARK DATE REVISIONS

1

2

3

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8207 BROOKGREEN ROAD
DOWNEY, CA 90240
P: 562 708 3586 P: 562 714 2886

OWNER:
MR. EDUARDO J. CARRILLO

ADDRESS:
8207 BROOKGREEN RD.
DOWNEY, CA 90240

PROPOSED
NEW 2-STORY HOUSE

PROJECT ADDRESS:
1248 CORONA DR. GLENDALE, CA 91205
VACANT LAND.
GLENDALE CA 91205

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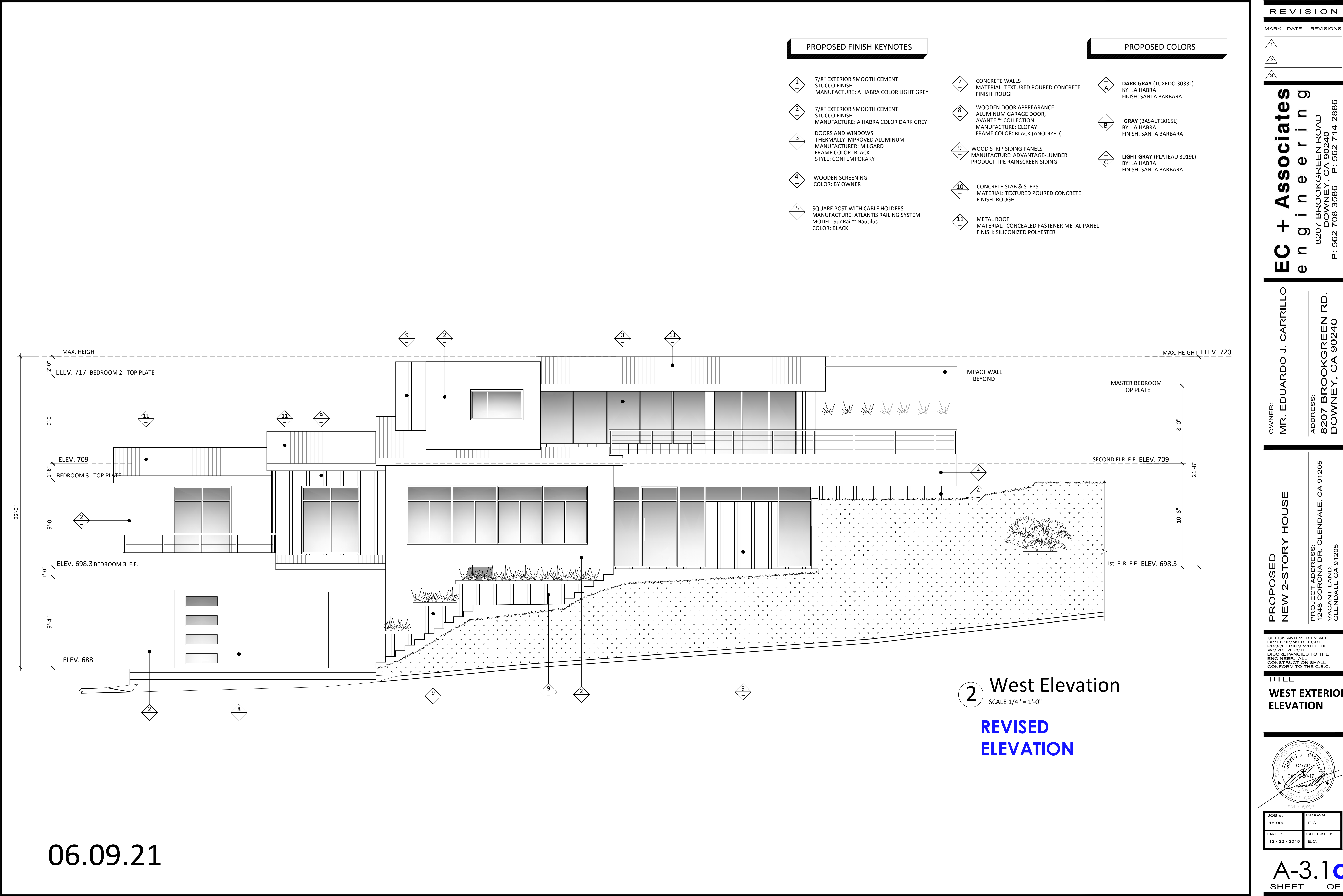
TITLE

DOOR & WINDOW
SCHEDULE



JOB #: 15-000	DRAWN: E.C.
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A-2.4
SHEET OF



PROPOSED FINISH KEYNOTES

- 1 7/8" EXTERIOR SMOOTH CEMENT STUCCO FINISH
MANUFACTURE: A HABRA COLOR LIGHT GREY
- 2 7/8" EXTERIOR SMOOTH CEMENT STUCCO FINISH
MANUFACTURE: A HABRA COLOR DARK GREY
- 3 DOORS AND WINDOWS
THERMALLY IMPROVED ALUMINUM
MANUFACTURER: MILGARD
FRAME COLOR: BLACK
STYLE: CONTEMPORARY
- 4 WOODEN SCREENING
COLOR: BY OWNER
- 5 SQUARE POST WITH CABLE HOLDERS
MANUFACTURE: ATLANTIS RAILING SYSTEM
MODEL: SunRail™ Nautilus
COLOR: BLACK

PROPOSED COLORS

- 7 CONCRETE WALLS
MATERIAL: TEXTURED POURED CONCRETE
FINISH: ROUGH
- 8 WOODEN DOOR APPEARANCE
ALUMINUM GARAGE DOOR,
AVANTE™ COLLECTION
MANUFACTURE: CLOPAY
FRAME COLOR: BLACK (ANODIZED)
- 9 WOOD STRIP SIDING PANELS
MANUFACTURE: ADVANTAGE-LUMBER
PRODUCT: IPE RAINSCREEN SIDING
- 10 CONCRETE SLAB & STEPS
MATERIAL: TEXTURED POURED CONCRETE
FINISH: ROUGH
- 11 METAL ROOF
MATERIAL: CONCEALED FASTENER METAL PANEL
FINISH: SILICONIZED POLYESTER
- A DARK GRAY (TUXEDO 3033L)
BY: LA HABRA
FINISH: SANTA BARBARA
- B GRAY (BASALT 3015L)
BY: LA HABRA
FINISH: SANTA BARBARA
- C LIGHT GRAY (PLATEAU 3019L)
BY: LA HABRA
FINISH: SANTA BARBARA

REVISION

MARK	DATE	REVISIONS
1		
2		
3		

EC + Associates

engineering

8207 BROOKGREEN ROAD
DOWNEY, CA 90240
P: 562 708 3586 P: 562 714 2886

OWNER:

MR. EDUARDO J. CARRILLO

ADDRESS:

8207 BROOKGREEN RD.
DOWNEY, CA 90240

PROPOSED

NEW 2-STORY HOUSE

PROJECT ADDRESS:

1246 CORONA DR. GLENDALE, CA 91205
VACANT LAND, GLENDALE CA 91205

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TITLE

WEST EXTERIOR
ELEVATION

EDUARDO J. CARRILLO
CT1737
EXP. 03-30-17
ARCHITECT
STATE OF CALIFORNIA

06.09.21

JOB #:	DRAWN:
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DATE:	CHECKED:
12 / 22 / 2016	E.C.

A-3.1

SHEET OF

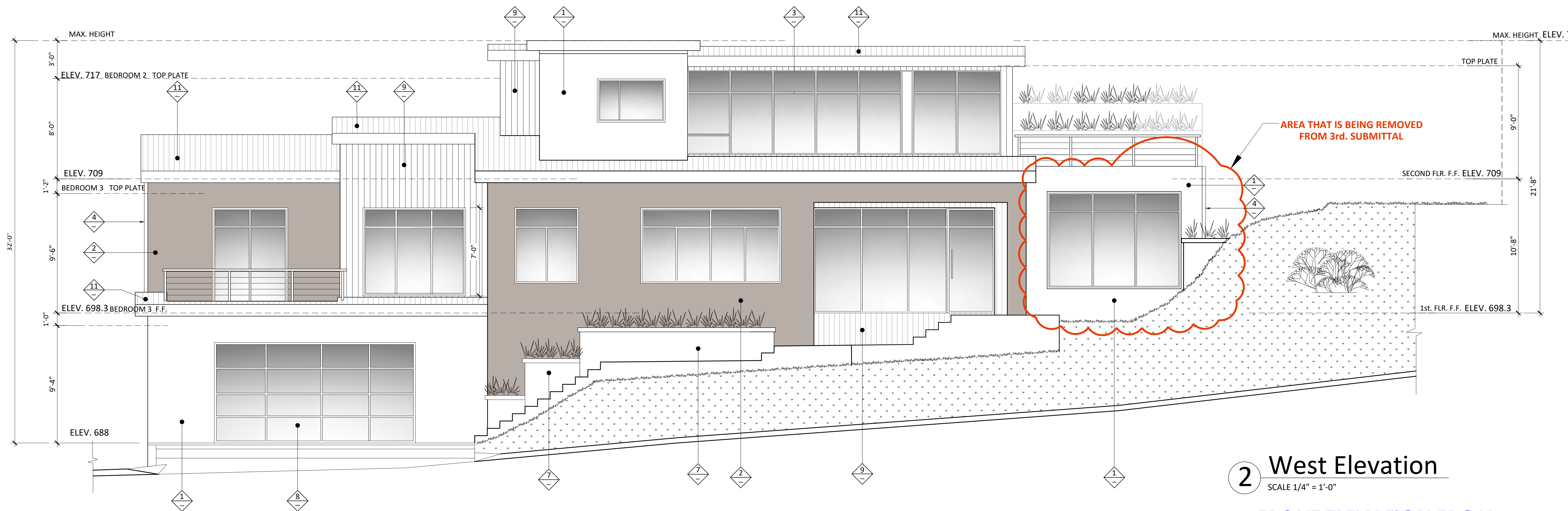
PROPOSED FINISH KEYNOTES

- 1 7/8" EXTERIOR SMOOTH CEMENT STUCCO FINISH
MANUFACTURE: A HABRA
- 2 SHOP FORM PRE-FINISHED METAL COPING CAP, COLOR TO MATCH WALL
- 3 DOORS AND WINDOWS
THERMALLY IMPROVED ALUMINUM
MANUFACTURER: MILGARD
FRAME COLOR: BLACK
STYLE: CONTEMPORARY
- 4 METAL DOWNSPOUT
COLOR: DARK GRAY
- 5 STAINLESS STEEL RAILING SYSTEMS
SQUARE POST WITH CABLE HOLDERS
MANUFACTURE: ATLANTIS RAILING SYSTEM
MODEL: SunRail™ Nautilus

- 7 CONCRETE WALLS
COLOR: LIGHT BROWN
FINISH: ROUGH
- 8 ALUMINUM GARAGE DOOR,
AVANTE™ COLLECTION
MANUFACTURE: CLOPAY
FRAME COLOR: BLACK (ANODIZED)
GLASS COLOR: WHITE ACRYLIC
- 9 COMPOSITE ALUMINUM
PANEL CLADDING SYSTEM
MANUFACTURE: AL13
COLOR: ELEPHANT GREY
- 10 WOOD STRIP SIDING PANELS
MANUFACTURE: ADVANTAGE-LUMBER
PRODUCT: IPE RAINSCREEN SIDING
- 11 CONCRETE SLAB & STEPS
COLOR: NATURAL COLOR
FINISH: ROUGH

PROPOSED COLORS

- A DARK GRAY (TUXEDO 3033L)
BY: LA HABRA
FINISH: SANTA BARBARA
- B GRAY (BASALT 3015L)
BY: LA HABRA
FINISH: SANTA BARBARA
- C LIGHT GRAY (PLATEAU 3019L)
BY: LA HABRA
FINISH: SANTA BARBARA



2 West Elevation
SCALE 1/4" = 1'-0"

FRONT ELEVATION FROM
3RD. SUBMITTAL
FOR REFERENCE ONLY

10.25.19

REVISION

MARK	DATE	REVISIONS
1		
2		
3		

EC + Associates
e n g i n e e r i n g

8207 BROOKGREEN ROAD
DOWNEY, CA 90240
P: 562 708 3586 P: 562 714 2886

OWNER:
MR. EDUARDO J. CARRILLO

ADDRESS:
8207 BROOKGREEN RD.
DOWNEY, CA 90240

PROPOSED
NEW 2-STORY HOUSE

PROJECT ADDRESS:
1248 CORONA DR. GLENDALE, CA 91205
VACANT LAND,
GLENDALE CA 91205

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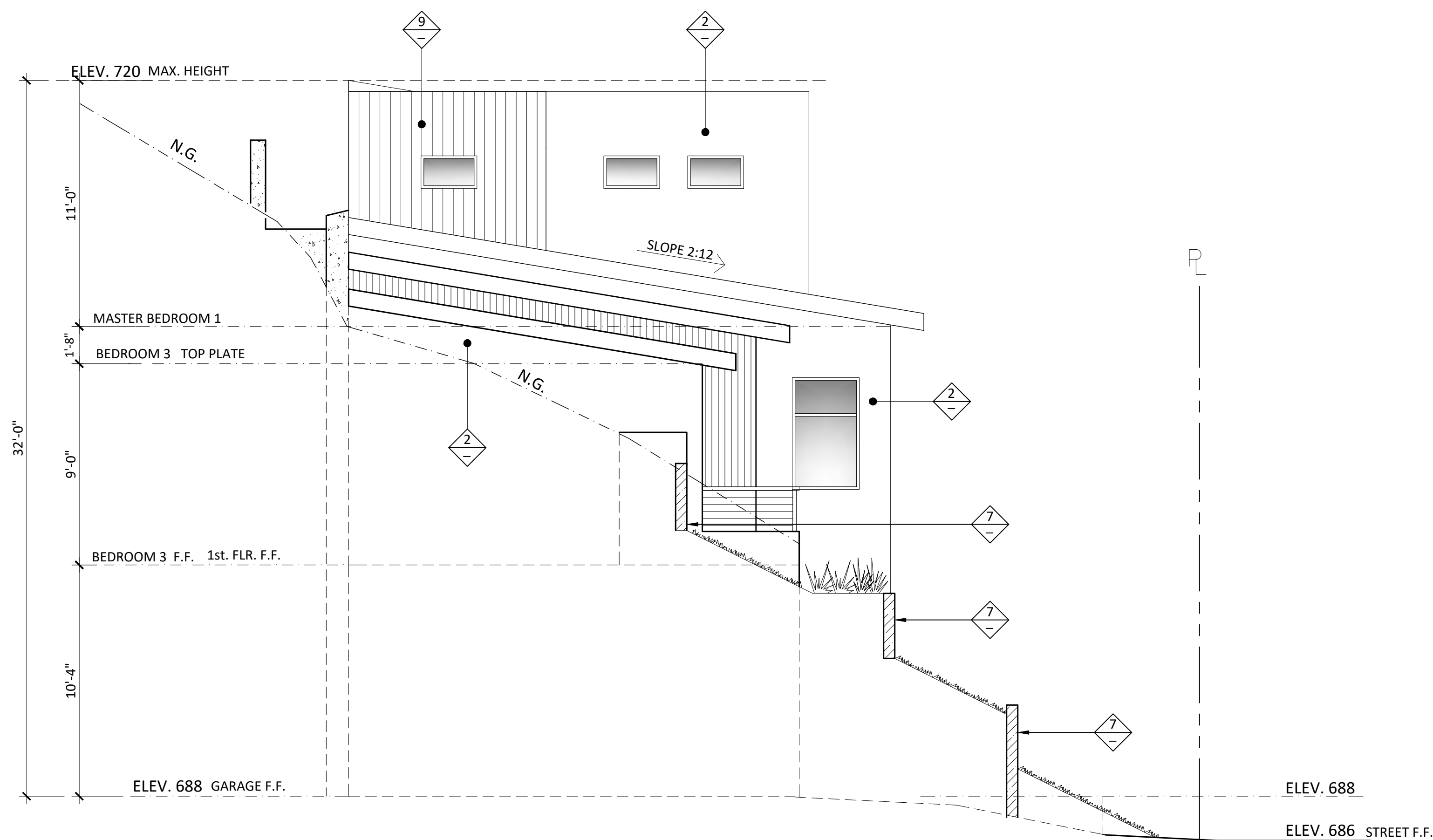
TITLE
WEST EXTERIOR
ELEVATION



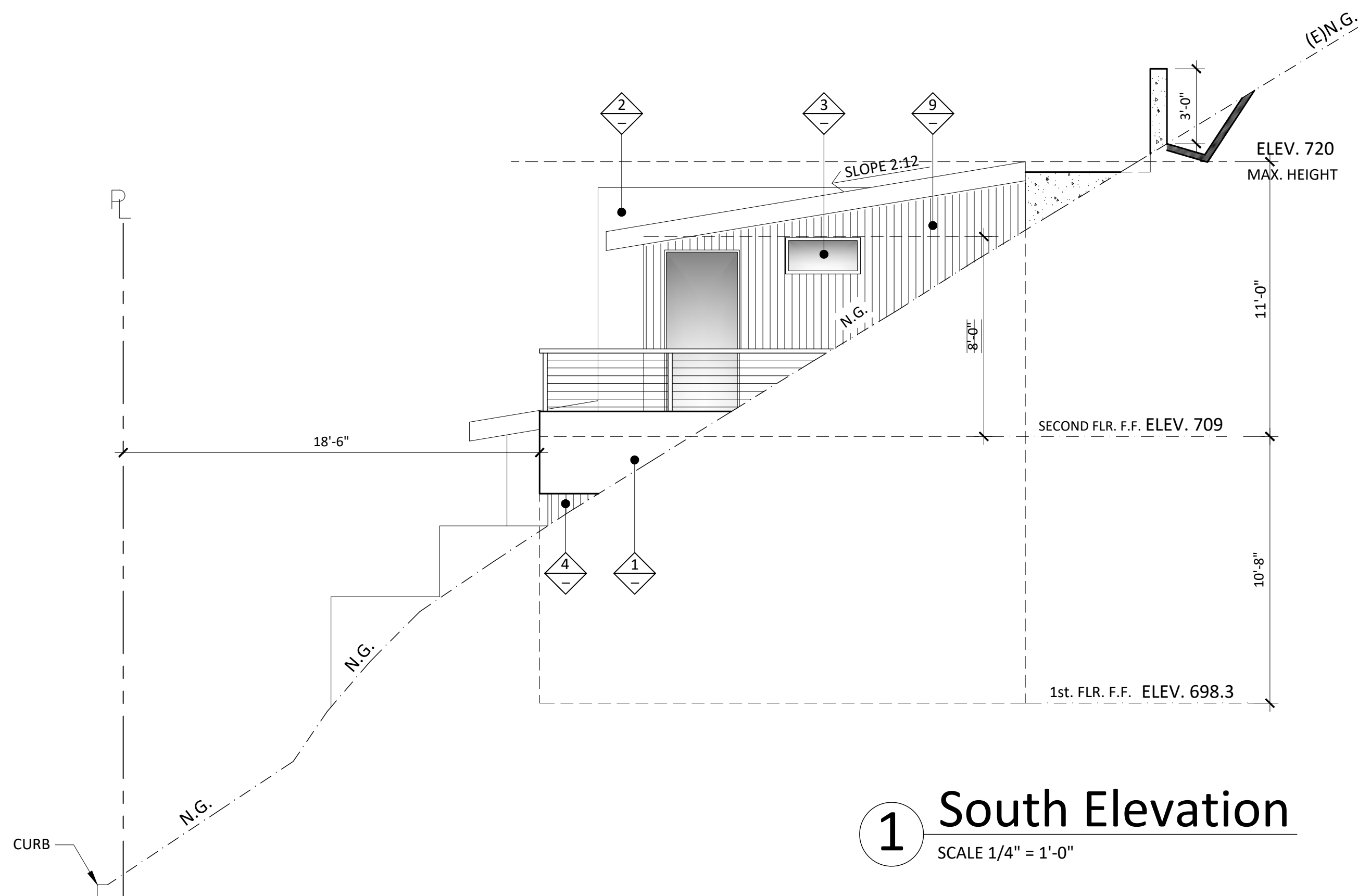
JOB #: 15-000	DRAWN: E.C.
DATE: 12 / 22 / 2016	CHECKED: E.C.

A-3.1b
SHEET OF

06.09.21



2 North Elevation
SCALE 1/4" = 1'-0"



1 South Elevation
SCALE 1/4" = 1'-0"

PROPOSED FINISH KEYNOTES

- 1 7/8" EXTERIOR SMOOTH CEMENT STUCCO FINISH
MANUFACTURE: A HABRA COLOR LIGHT GREY
- 2 7/8" EXTERIOR SMOOTH CEMENT STUCCO FINISH
MANUFACTURE: A HABRA COLOR DARK GREY
- 3 DOORS AND WINDOWS
THERMALLY IMPROVED ALUMINUM
MANUFACTURER: MILGARD
FRAME COLOR: BLACK
STYLE: CONTEMPORARY
- 4 WOODEN SCREENING
COLOR: BY OWNER
- 5 SQUARE POST WITH CABLE HOLDERS
MANUFACTURE: ATLANTIS RAILING SYSTEM
MODEL: SunRail™ Nautilus
COLOR: BLACK

- 7 CONCRETE WALLS
MATERIAL: TEXTURED POURED CONCRETE
FINISH: ROUGH
- 8 WOODEN DOOR APPEARANCE
ALUMINUM GARAGE DOOR,
AVANTE™ COLLECTION
MANUFACTURE: CLOPAY
FRAME COLOR: BLACK (ANODIZED)
- 9 WOOD STRIP SIDING PANELS
MANUFACTURE: ADVANTAGE-LUMBER
PRODUCT: IPE RAINSCREEN SIDING
- 10 CONCRETE SLAB & STEPS
MATERIAL: TEXTURED POURED CONCRETE
FINISH: ROUGH
- 11 METAL ROOF
MATERIAL: CONCEALED FASTENER METAL PANEL
FINISH: SILICONIZED POLYESTER

PROPOSED COLORS

- A DARK GRAY (TUXEDO 3033L)
BY: LA HABRA
FINISH: SANTA BARBARA
- B GRAY (BASALT 3015L)
BY: LA HABRA
FINISH: SANTA BARBARA
- C LIGHT GRAY (PLATEAU 3019L)
BY: LA HABRA
FINISH: SANTA BARBARA

REVISION

MARK DATE REVISIONS

1
2
3

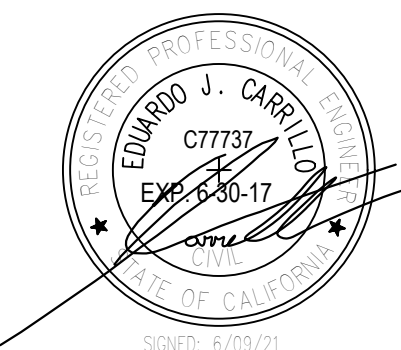
EC + Associates
engineering
8207 BROOKGREEN ROAD
DOWNEY, CA 90240
P: 562 714 2886

OWNER:
MR. EDUARDO J. CARRILLO
ADDRESS:
8207 BROOKGREEN RD.
DOWNEY, CA 90240

PROPOSED
NEW 2-STORY HOUSE
PROJECT ADDRESS:
1248 CORONA DR. GLENDALE, CA 91205
VACANT LAND,
GLENDALE CA 91205

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TITLE
NORTH & SOUTH
EXTERIOR
ELEVATION



JOB #: 15-000	DRAWN: E.C.
DATE: 12 / 22 / 2016	CHECKED: E.C.

A-3.2
SHEET OF

06.09.21



2 West Elevation
SCALE 1/4" = 1'-0"

- 1 7/8" EXTERIOR SMOOTH CEMENT STUCCO FINISH
MANUFACTURE: A HABRA COLOR LIGHT GREY
- 2 7/8" EXTERIOR SMOOTH CEMENT STUCCO FINISH
MANUFACTURE: A HABRA COLOR DARK GREY
- 3 DOORS AND WINDOWS
THERMALLY IMPROVED ALUMINUM
MANUFACTURER: MILGARD
FRAME COLOR: BLACK
STYLE: CONTEMPORARY
- 4 WOODEN SCREENING
COLOR: BY OWNER
- 5 SQUARE POST WITH CABLE HOLDERS
MANUFACTURE: ATLANTIS RAILING SYSTEM
MODEL: SunRail™ Nautilus
COLOR: BLACK

- 7 CONCRETE WALLS
MATERIAL: TEXTURED POURED CONCRETE
FINISH: ROUGH
- 8 WOODEN DOOR APPREARANCE
ALUMINUM GARAGE DOOR,
AVANTE™ COLLECTION
MANUFACTURE: CLOPAY
FRAME COLOR: BLACK (ANODIZED)
- 9 WOOD STRIP SIDING PANELS
MANUFACTURE: ADVANTAGE-LUMBER
PRODUCT: IPE RAINSCREEN SIDING
- 10 CONCRETE SLAB & STEPS
MATERIAL: TEXTURED POURED CONCRETE
FINISH: ROUGH
- 11 METAL ROOF
MATERIAL: CONCEALED FASTENER METAL PANEL
FINISH: SILICONIZED POLYESTER

- A DARK GRAY (TUXEDO 3033L)
BY: LA HABRA
FINISH: SANTA BARBARA
- B GRAY (BASALT 3015L)
BY: LA HABRA
FINISH: SANTA BARBARA
- C LIGHT GRAY (PLATEAU 3019L)
BY: LA HABRA
FINISH: SANTA BARBARA

REVISION

MARK DATE REVISIONS

- 1
- 2
- 3

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e n g i n e e r i n g
8207 BROOKGREEN ROAD
DOWNEY, CA 90240
P: 562 708 3586 P: 562 714 2886

OWNER:
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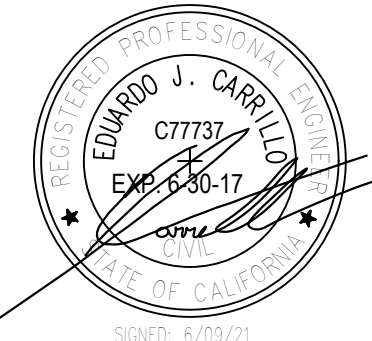
ADDRESS:
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PROPOSED
NEW 2-STORY HOUSE

PROJECT ADDRESS:
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VACANT LAND,
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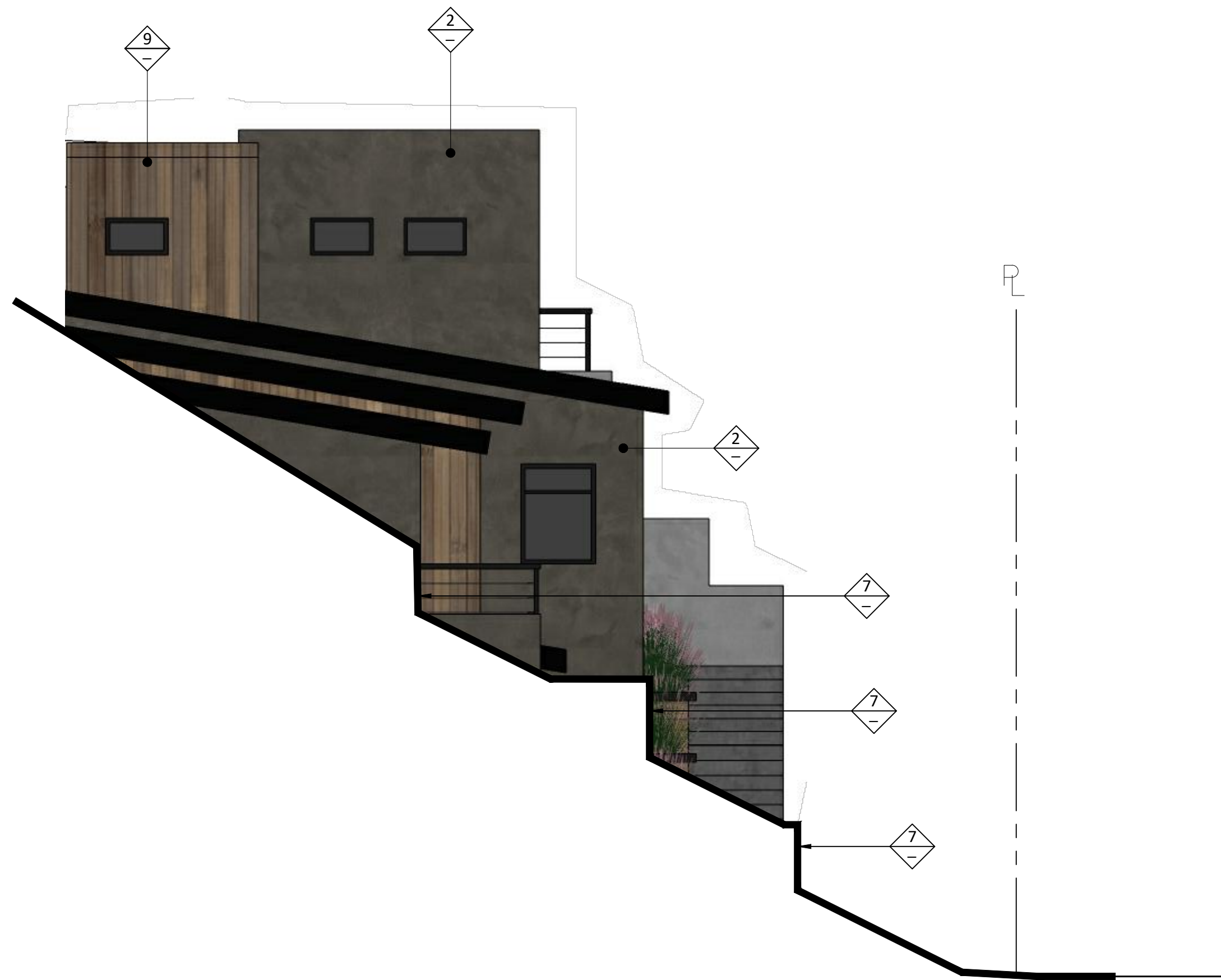
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COLORED
WEST ELEVATION



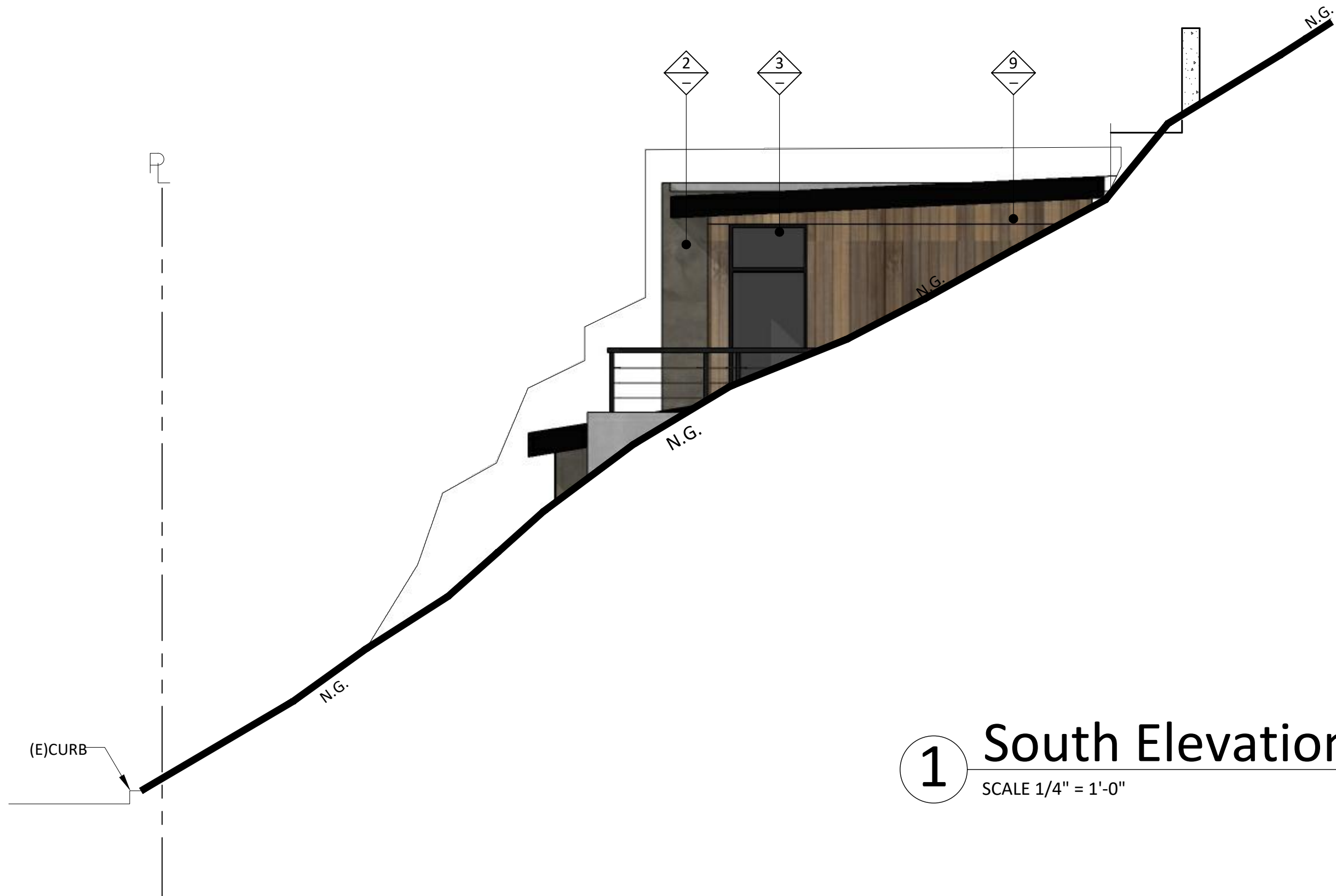
JOB #: 15-000	DRAWN: E.C.
DATE: 12 / 22 / 2016	CHECKED: E.C.

A-3.3
SHEET OF

06.09.21



2 North Elevation
SCALE 1/4" = 1'-0"



1 South Elevation
SCALE 1/4" = 1'-0"

PROPOSED FINISH KEYNOTES

- 1 7/8" EXTERIOR SMOOTH CEMENT STUCCO FINISH
MANUFACTURE: A HABRA COLOR LIGHT GREY
- 2 7/8" EXTERIOR SMOOTH CEMENT STUCCO FINISH
MANUFACTURE: A HABRA COLOR DARK GREY
- 3 DOORS AND WINDOWS THERMALLY IMPROVED ALUMINUM
MANUFACTURER: MILGARD
FRAME COLOR: BLACK
STYLE: CONTEMPORARY
- 4 WOODEN SCREENING
COLOR: BY OWNER
- 5 SQUARE POST WITH CABLE HOLDERS
MANUFACTURE: ATLANTIS RAILING SYSTEM
MODEL: SunRail™ Nautilus
COLOR: BLACK

PROPOSED COLORS

- 7 CONCRETE WALLS
MATERIAL: TEXTURED POURED CONCRETE
FINISH: ROUGH
- 8 WOODEN DOOR APPEARANCE
ALUMINUM GARAGE DOOR,
AVANTE™ COLLECTION
MANUFACTURE: CLOPAY
FRAME COLOR: BLACK (ANODIZED)
- 9 WOOD STRIP SIDING PANELS
MANUFACTURE: ADVANTAGE-LUMBER
PRODUCT: IPE RAINSCREEN SIDING
- 10 CONCRETE SLAB & STEPS
MATERIAL: TEXTURED POURED CONCRETE
FINISH: ROUGH
- 11 METAL ROOF
MATERIAL: CONCEALED FASTENER METAL PANEL
FINISH: SILICONIZED POLYESTER

PROPOSED COLORS

- A DARK GRAY (TUXEDO 3033L)
BY: LA HABRA
FINISH: SANTA BARBARA
- B GRAY (BASALT 3015L)
BY: LA HABRA
FINISH: SANTA BARBARA
- C LIGHT GRAY (PLATEAU 3019L)
BY: LA HABRA
FINISH: SANTA BARBARA

REVISION

MARK DATE REVISIONS

- 1
- 2
- 3

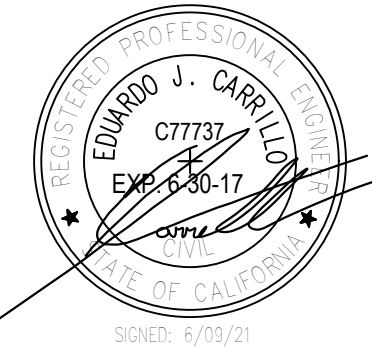
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e n g i n e e r i n g
8207 BROOKGREEN ROAD
DOWNEY, CA 90240
P: 562 714 2886

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PROPOSED
NEW 2-STORY HOUSE
PROJECT ADDRESS:
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VACANT LAND,
GLENDALE CA 91205

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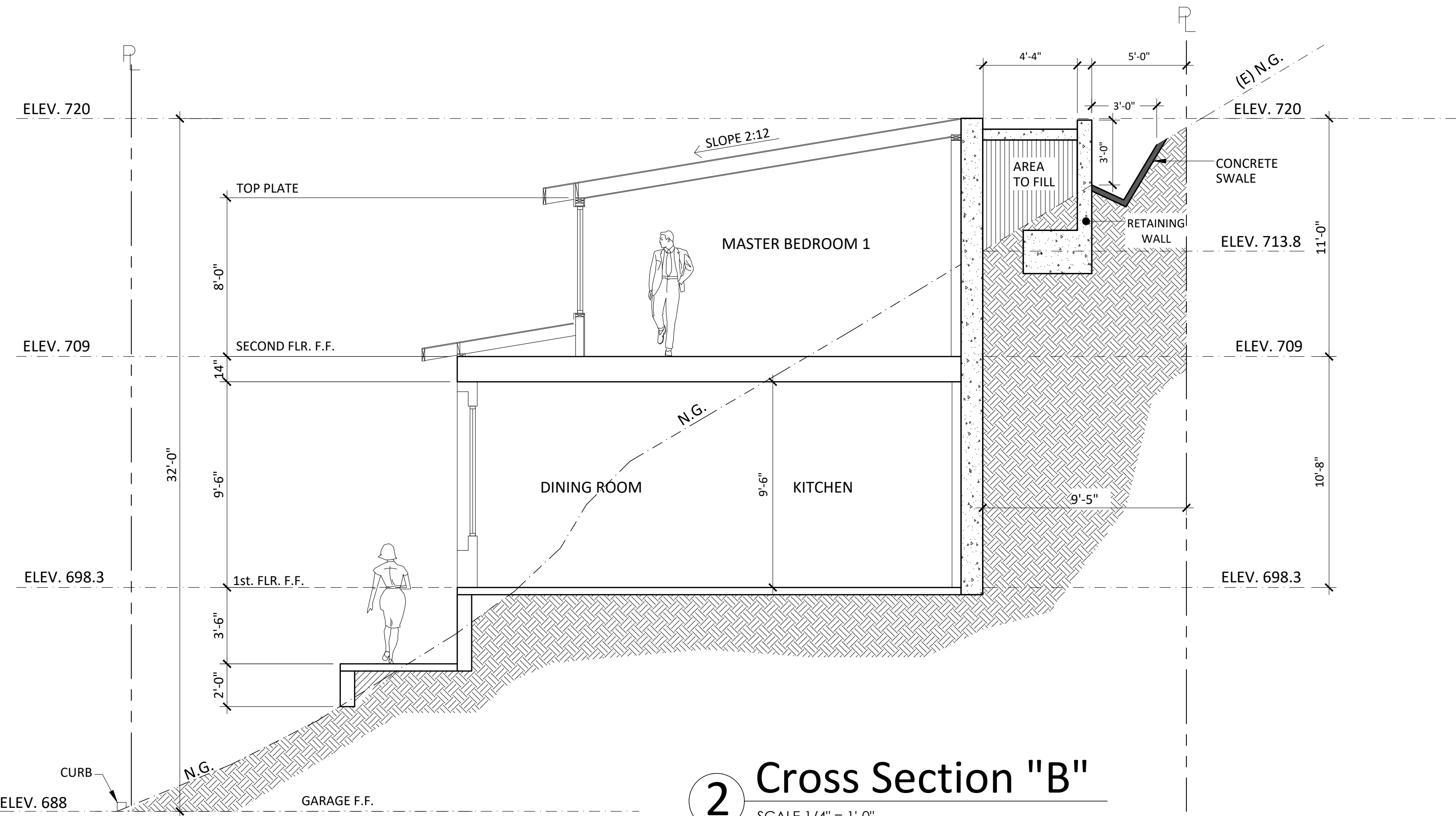
TITLE
COLORED
SOUTH & NORTH
ELEVATION



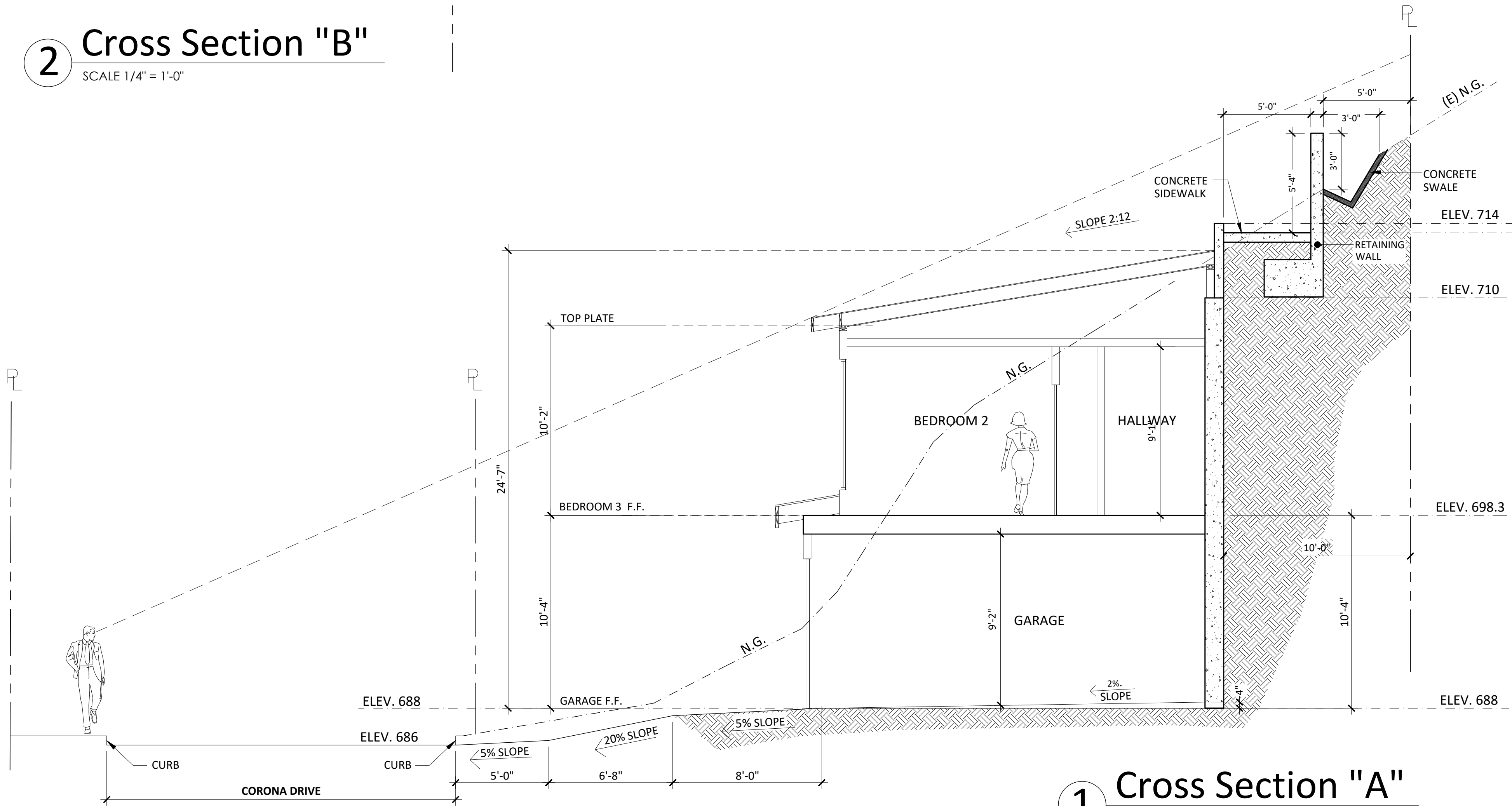
JOB #: 15-000	DRAWN: E.C.
DATE: 12 / 22 / 2015	CHECKED: E.C.

A-3.4
SHEET OF

06.09.21



2 Cross Section "B"
SCALE 1/4" = 1'-0"



1 Cross Section "A"
SCALE 1/4" = 1'-0"

REVISION

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1		
2		
3		

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engineering
8207 BROOKGREEN ROAD
DOWNEY, CA 90240
P: 562 708 3586 P: 562 714 2886

OWNER:
MR. EDUARDO J. CARRILLO
ADDRESS:
8207 BROOKGREEN RD.
DOWNEY, CA 90240

PROPOSED
NEW 2-STORY HOUSE
PROJECT ADDRESS:
1246 CORONA DR. GLENDALE, CA 91205
VACANT LAND,
GLENDALE CA 91205

CHECK AND VERIFY ALL
DIMENSIONS BEFORE
PROCEEDING WITH THE
WORK. REPORT
DISCREPANCIES TO THE
ENGINEER. ALL
CONSTRUCTION SHALL
CONFORM TO THE C.B.C.

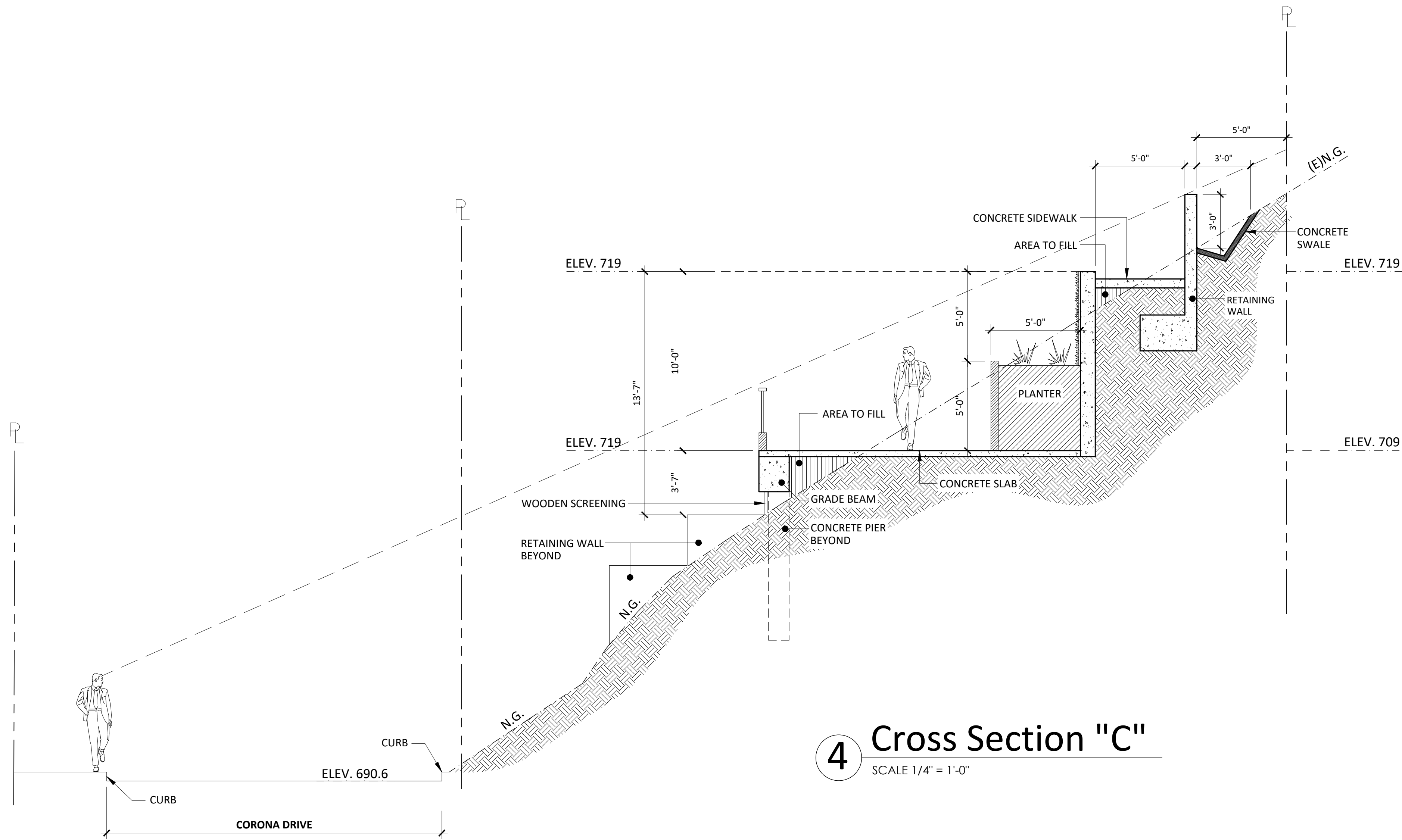
TITLE
SITE CROSS
SECTION A & B



JOB #: 15-000	DRAWN: E.C.
DATE: 12 / 22 / 2016	CHECKED: E.C.

A-4.0
SHEET OF

06.09.21



4 Cross Section "C"

REVISION

MARK DATE REVISIONS

1

2

3

EC + Associates
e n g i n e e r i n g

8207 BROOKGREEN ROAD
DOWNEY, CA 90240
P: 562 708 3586 P: 562 714 2886

OWNER:
MR. EDUARDO J. CARRILLO

ADDRESS:
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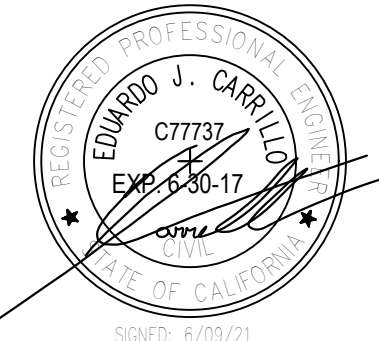
PROPOSED
NEW 2-STORY HOUSE

PROJECT ADDRESS:
1248 CORONA DR. GLENDALE, CA 91205
VACANT LAND, GLENDALE CA 91205

CHECK AND VERIFY ALL
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TITLE

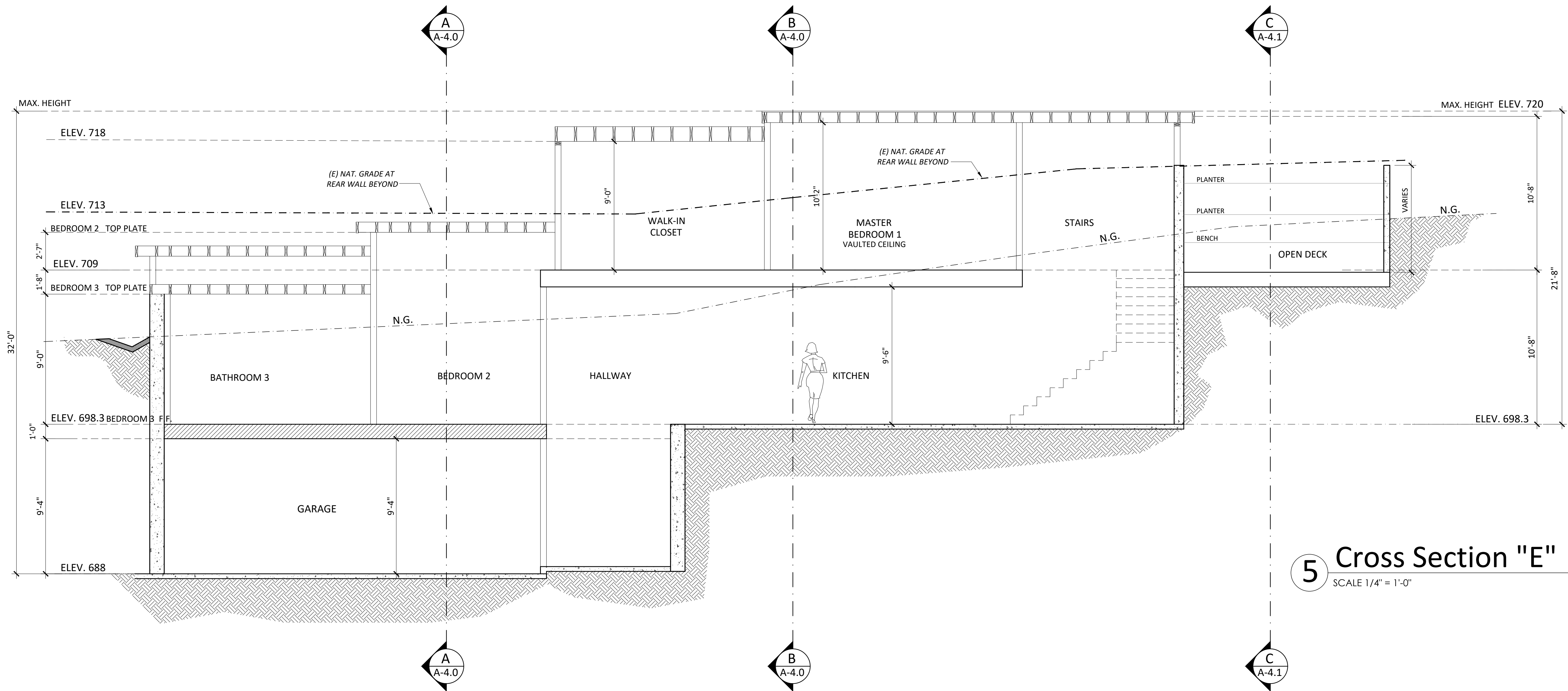
SITE CROSS
SECTION C



JOB #: 15-000	DRAWN: E.C.
DATE: 12 / 22 / 2015	CHECKED: E.C.

A-4.1
SHEET OF

06.09.21



REVISION

MARK DATE REVISIONS

1

2

3

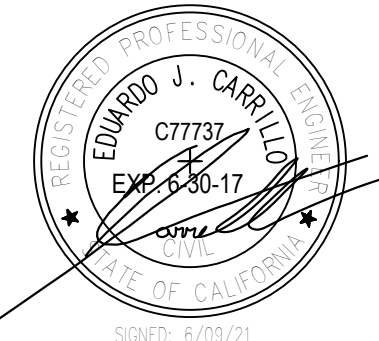
EC + Associates
e n g i n e e r i n g
8207 BROOKGREEN ROAD
DOWNEY, CA 90240
P: 562 708 3586 P: 562 714 2886

OWNER:
MR. EDUARDO J. CARRILLO
ADDRESS:
8207 BROOKGREEN RD.
DOWNEY, CA 90240

PROPOSED
NEW 2-STORY HOUSE
PROJECT ADDRESS:
1246 CORONA DR. GLENDALE, CA 91205
VACANT LAND,
GLENDALE CA 91205

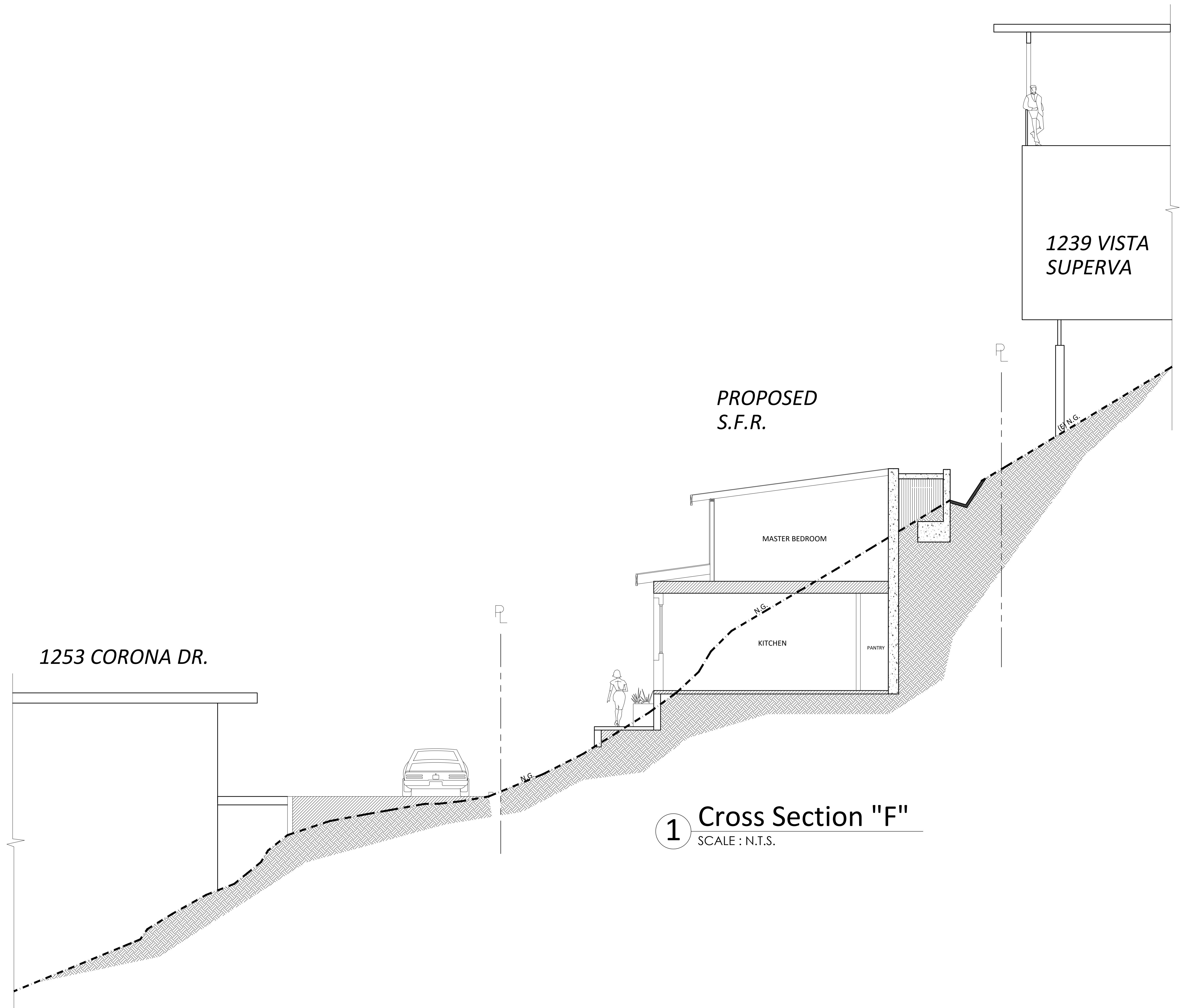
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TITLE
SITE CROSS
SECTION E



JOB #: 15-000	DRAWN: E.C.
DATE: 12 / 22 / 2016	CHECKED: E.C.

A-4.2
SHEET OF



REVISION		
MARK	DATE	REVISIONS
1		
2		
3		

EC + Associates
e n g i n e e r i n g
8207 BROOKGREEN ROAD
DOWNEY, CA 90240
P: 562 708 3586 P: 562 714 2886

OWNER:
MR. EDUARDO J. CARRILLO

ADDRESS:
8207 BROOKGREEN RD.
DOWNEY, CA 90240

PROPOSED
NEW 2-STORY HOUSE

PROJECT ADDRESS:
1246 CORONA DR. GLENDALE, CA 91205
VACANT LAND,
GLENDALE CA 91205

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TITLE
SITE CROSS
SECTION F

EDUARDO J. CARRILLO
CT7737
Exp. 6-30-17
STATE OF CALIFORNIA
REGISTERED PROFESSIONAL ENGINEER

JOB #: 15-000	DRAWN: E.C.
DATE: 12 / 22 / 2016	CHECKED: E.C.

A-4.3
SHEET OF



